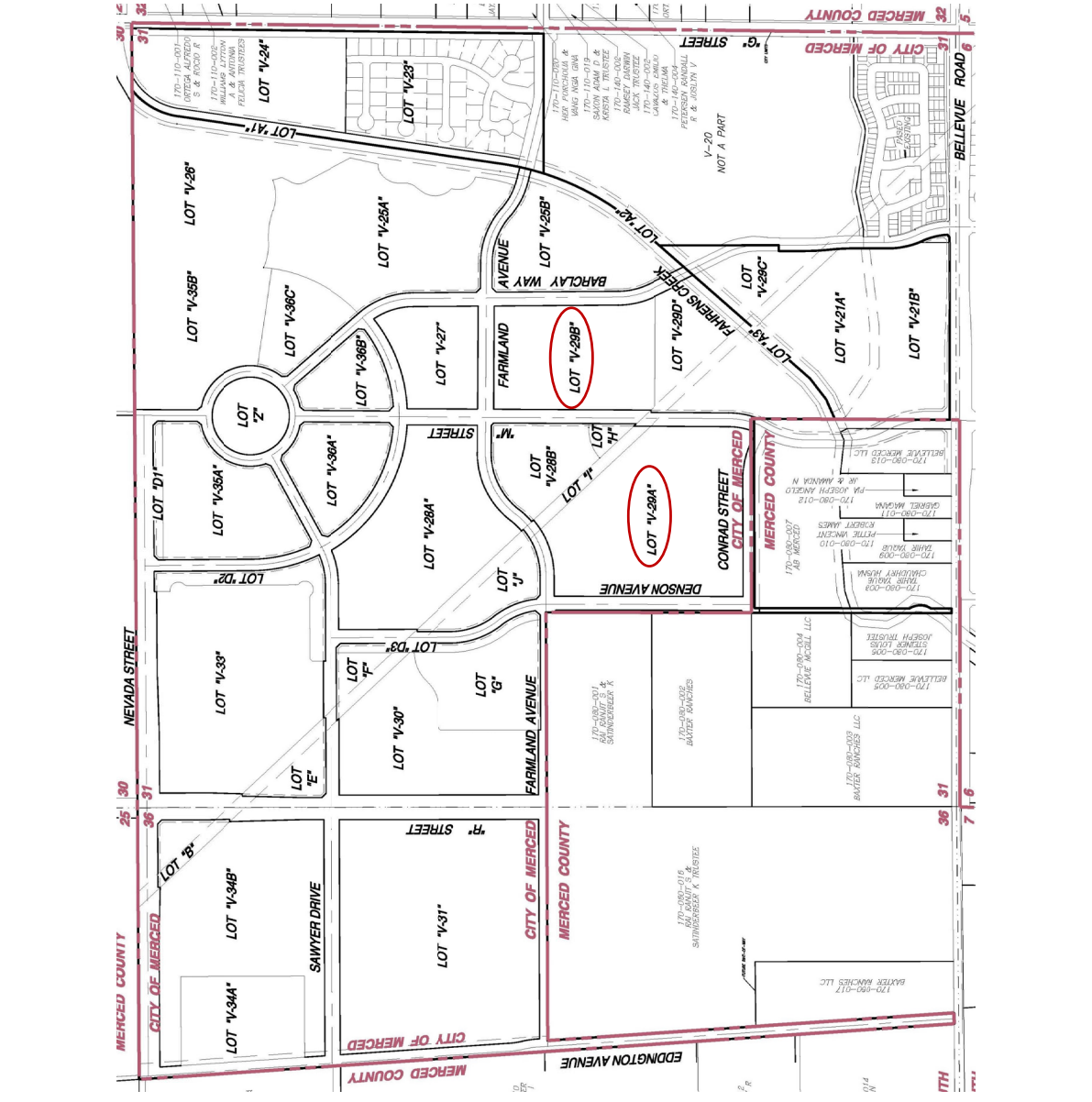


VTSM #1325 (BRN VILLAGE 29-B)

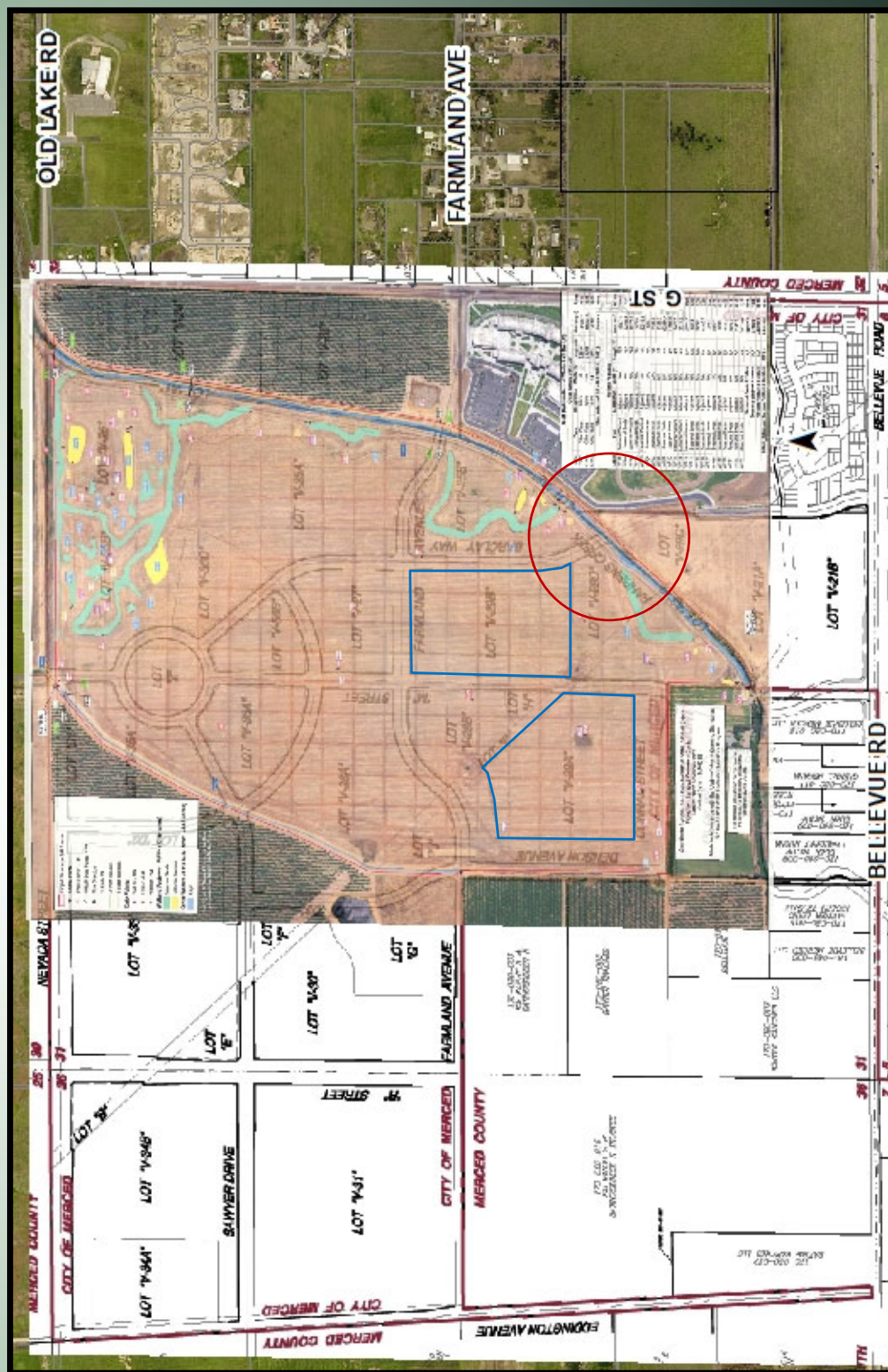
BELLEVUE MERCED, LLC

ATTACHMENT N

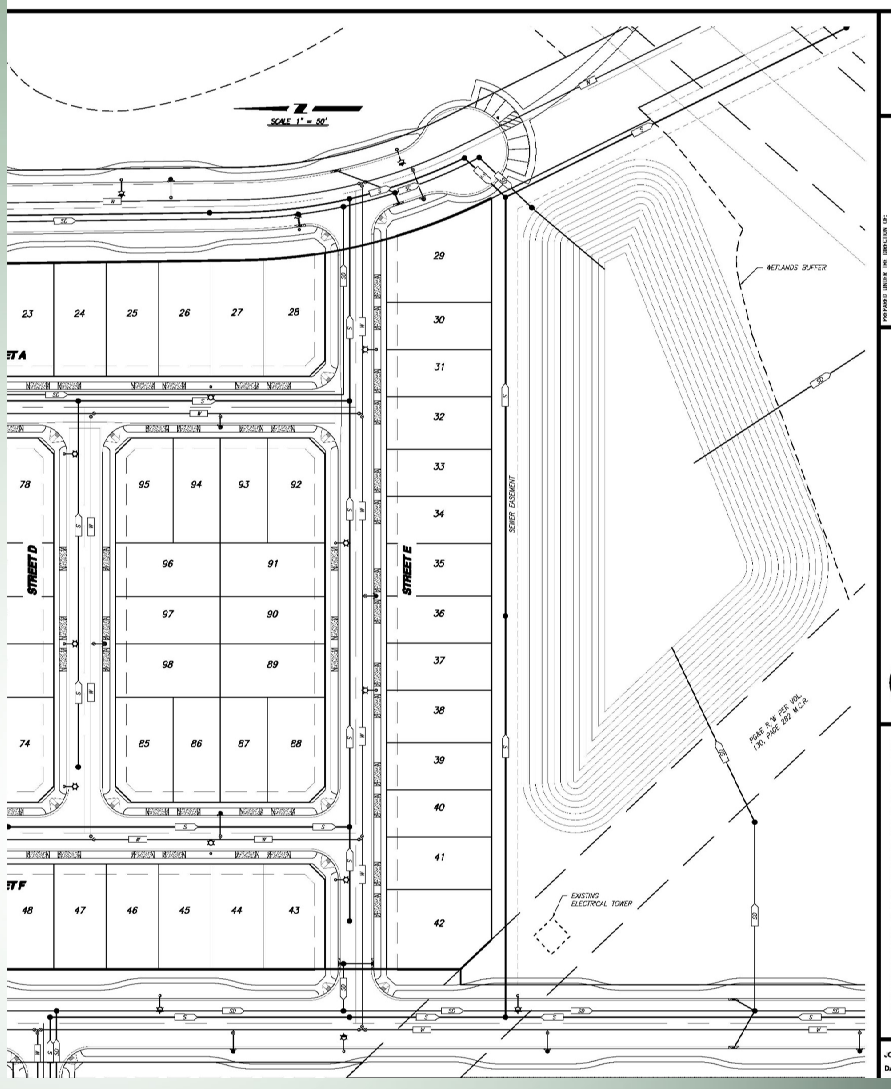








- Conceptual cul-de-sac for Barclay Way
- Pedestrian bridge over Fahrens Creek
- May change with proposed GPA



LOT SIZES



Lot Size (s.f.)	Number of Lots
4,499 to 4,500	38
5,000 to 5,915	55
6,253 to 6,593	3
7,160 to 7,759	2
TOTAL	98

Masonry Wall

ELEVATIONS & DEVELOPMENT STANDARDS

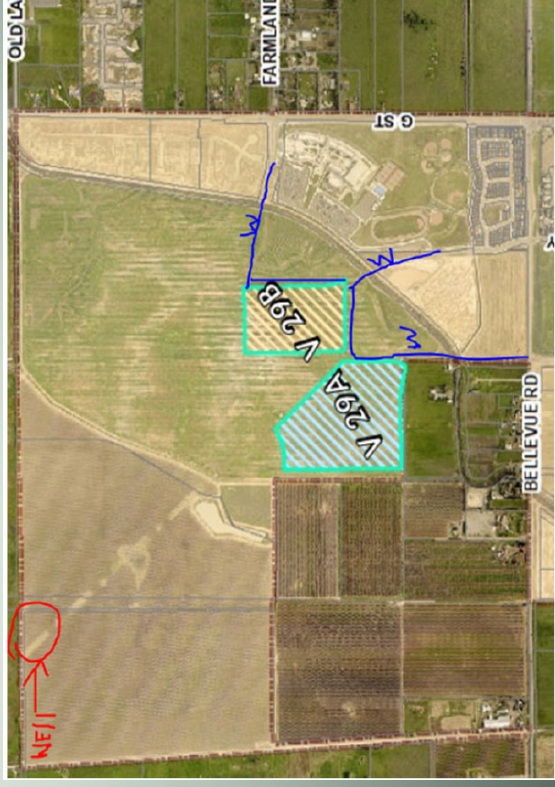
- **Condition #15:** The development standards for this subdivision shall be those for “Patio Homes” described in the BRMDP (Attachment E).
- **Condition #16:** Elevations shall comply with the BRMDP standards which include, but are not limited to, stucco siding, architectural wood grade siding, architectural shingles, and a variety of colors, textures, and materials. Elevations to be reviewed during the building permit stage.
- **Condition #17:** Each lot shall provide a minimum of 2 parking spaces.

PUBLIC COMMENTS

- Public hearing Notices were published in a qualifying newspaper and mailed to property owners within 300 feet of the subject site.
- Staff did not receive public comments from property owners at the time this report was prepared
- Staff reached out to utility companies and other agencies to solicit comments. Comments were received from PG&E and MID as shown at Attachment J (regarding agreements for joint use, etc.)
- Staff is including Condition #47 which would require the developer to install “No Dumping” signs along Fahrens Creek (addresses an MID concern).

ENGINEERING DEPARTMENT

- Currently there is no water service south of the subject site, across Fahrens Creek.
- Condition #23: The water service system shall include a redundant water looped system.
- Condition #24: The applicant shall work with Engineering staff to dedicate land for a future well site.



ADDITIONAL CONDITIONS

- Condition #5: The development shall comply with the BRMDP (including as amended over the years).
- Conditions #9: The development shall be annexed into the City's CFD.
- Condition #32: The developer shall dedicate al necessary right-of-way and easements.
- Condition #36: Cul-de-sac bulbs shall have a minimum diameter of 96 feet and shall be posted as "No Parking" in compliance with Fire Department Standards.

PLANNING COMMISSION ACTION

Approval/Disapprove/Modify:

- Environmental Review #22-42 (CEQA Section 15162 – reuse existing environmental study and CEQA Section 15183 Exemption for consistency with existing plan)
- Tentative Subdivision Map #1325 (subject to 47 conditions of approval)

QUESTIONS? COMMENTS? CONCERNS?