

PAULSON RANCH SUBDIVISION

GPA #24-01

NORTHEAST YOSEMITE SPECIFIC PLAN AMENDMENT #6

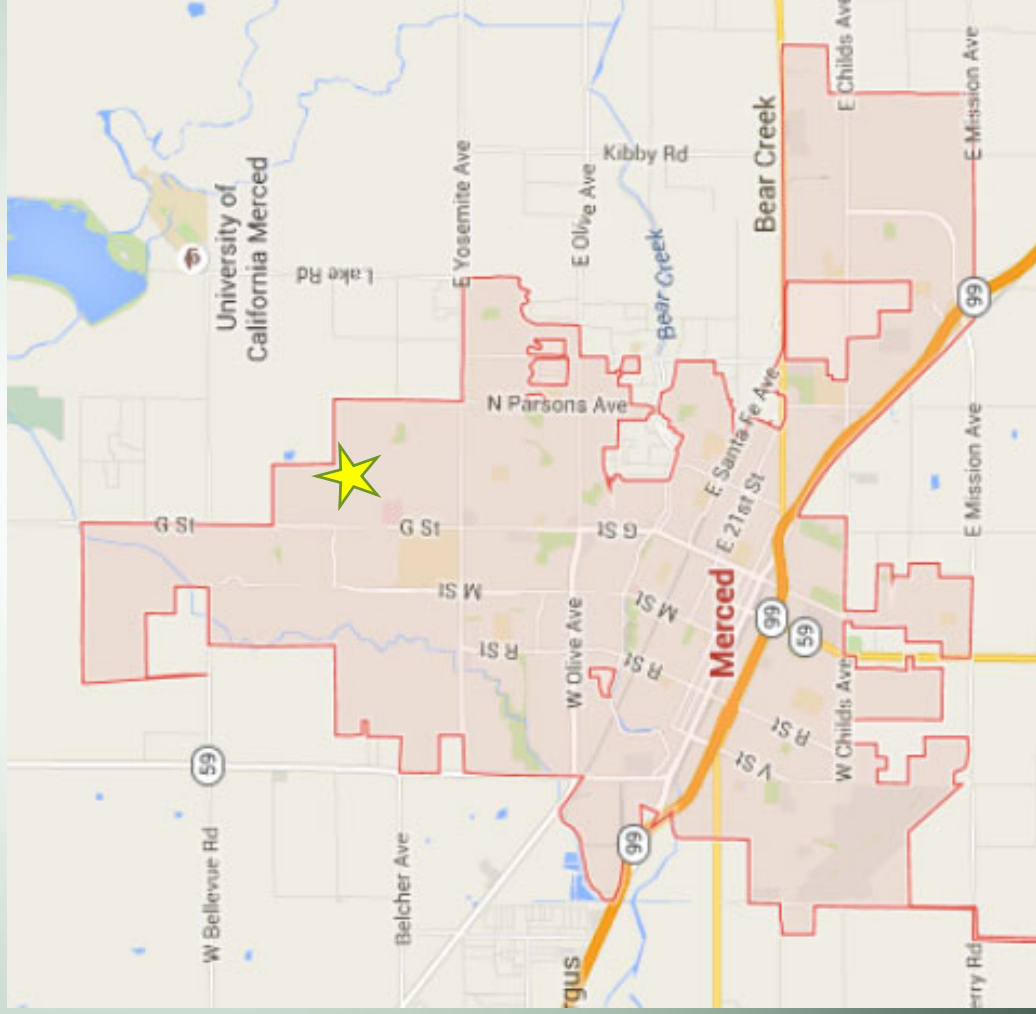
STONEFIELD HOME, INC.

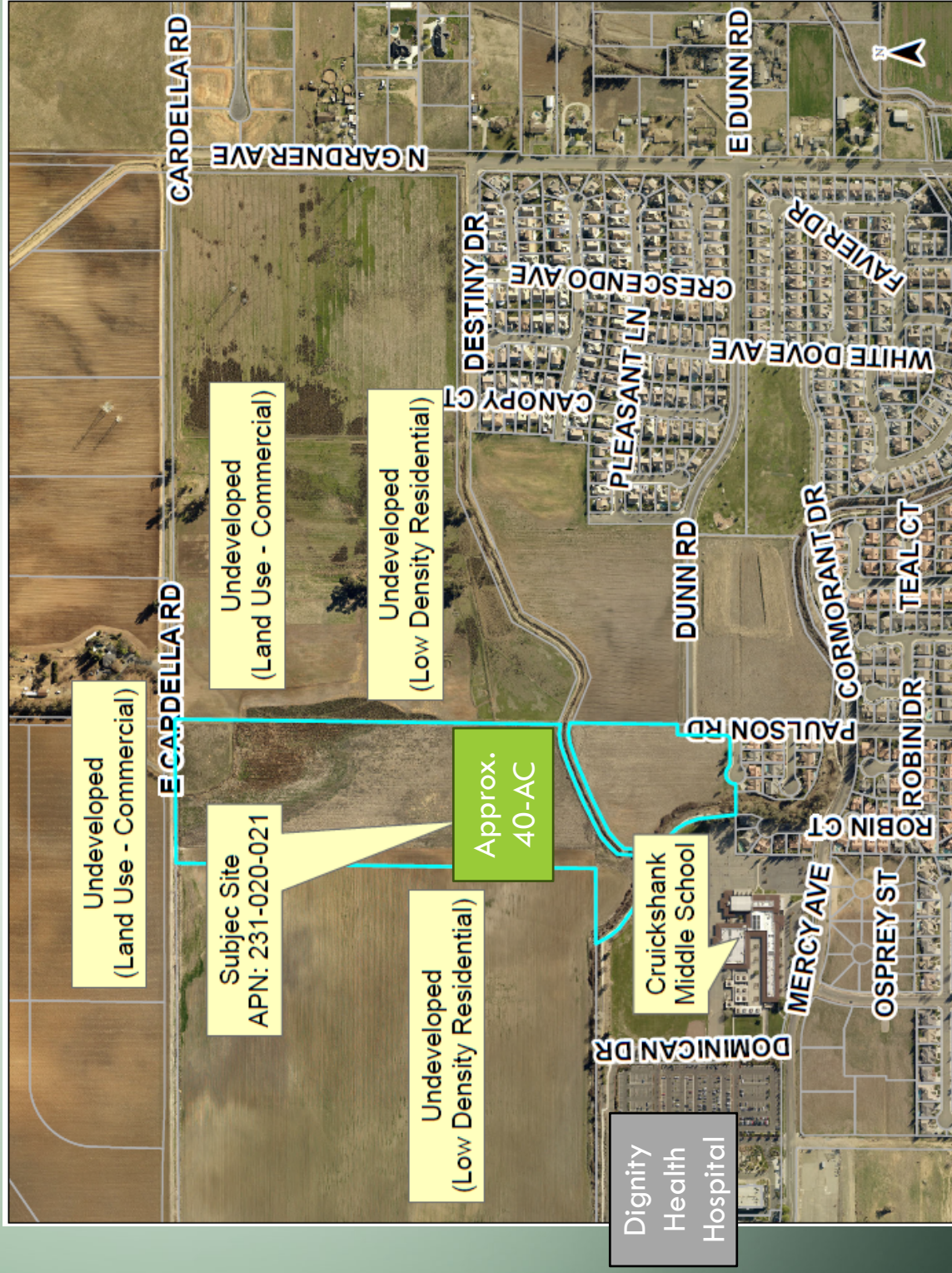
104 RESIDENTIAL LOTS

ENTITLEMENT PROCESS (2 STEPS)

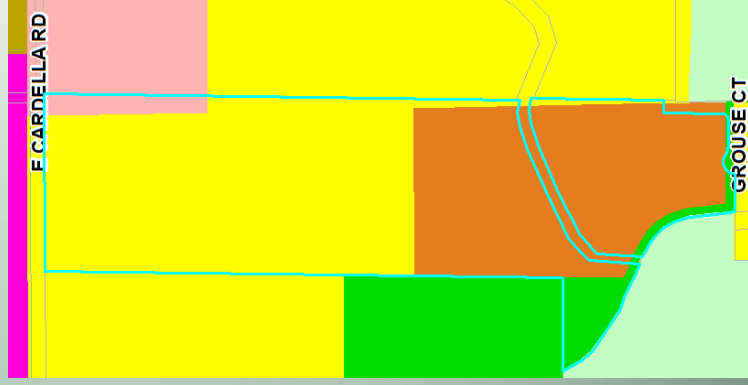
- **Planning Commission (Approved May 7, 2025):**
 - Vesting Tentative Subdivision Map: Subdivision 39.12 acres into 104 single-family lots with some additional lots for basing, open space, etc
- **City Council Action:**
 - General Plan Amendment: Amend the City's Circulation Element to eliminate a collector road (Destiny Drive) from going through this site (No Land Use Change)
 - Northeast Yosemite Specific Plan Amendment: Amend this previously approved specific plan (from the 1990's) to accommodate this new subdivision layout

CITY-SCALE CONTEXT

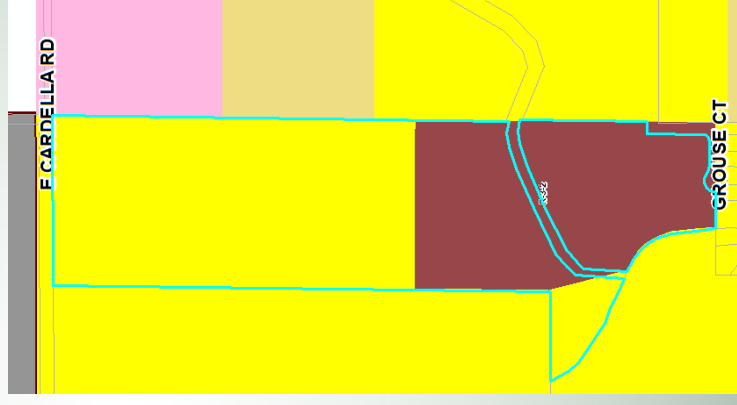




GENERAL PLAN



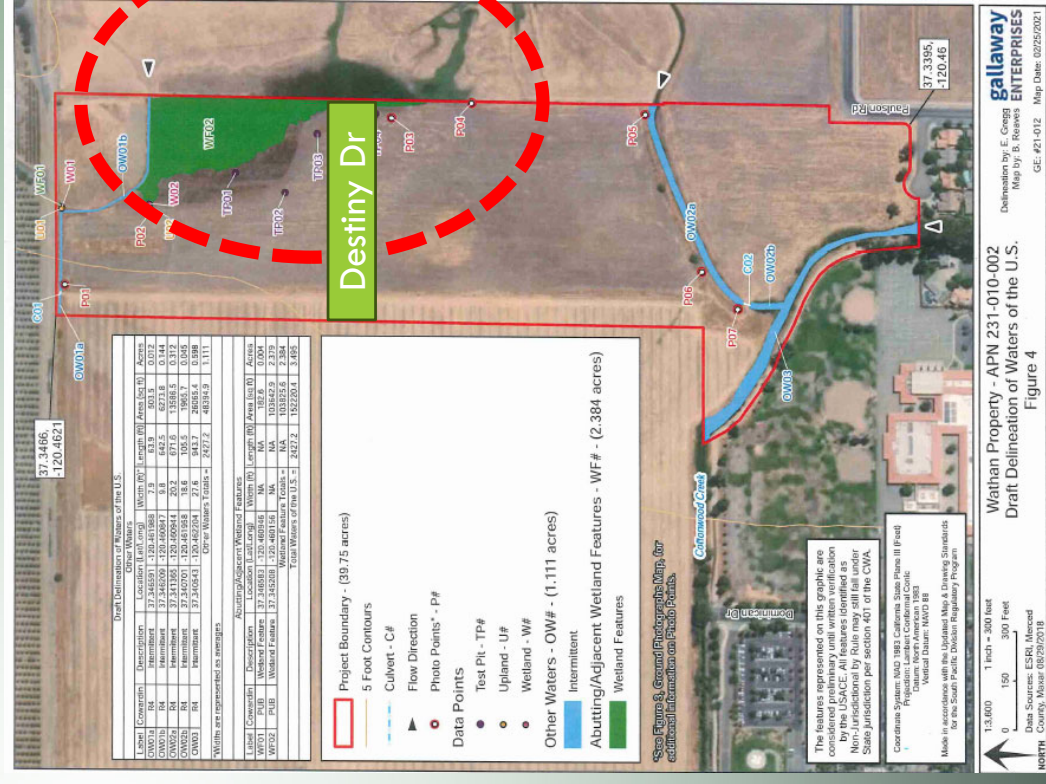
ZONING



- Subject Site has two General Plan designations and two Zoning classifications. GP designations are LDR and HMD. Zoning classifications are R-1 -6 and R-3-2. No change in Land Use.
- Based on the residential density allowed, the maximum number of units would be 533. The proposed 104 units are below the maximum allowed.

WETLAND CONSTRAINTS

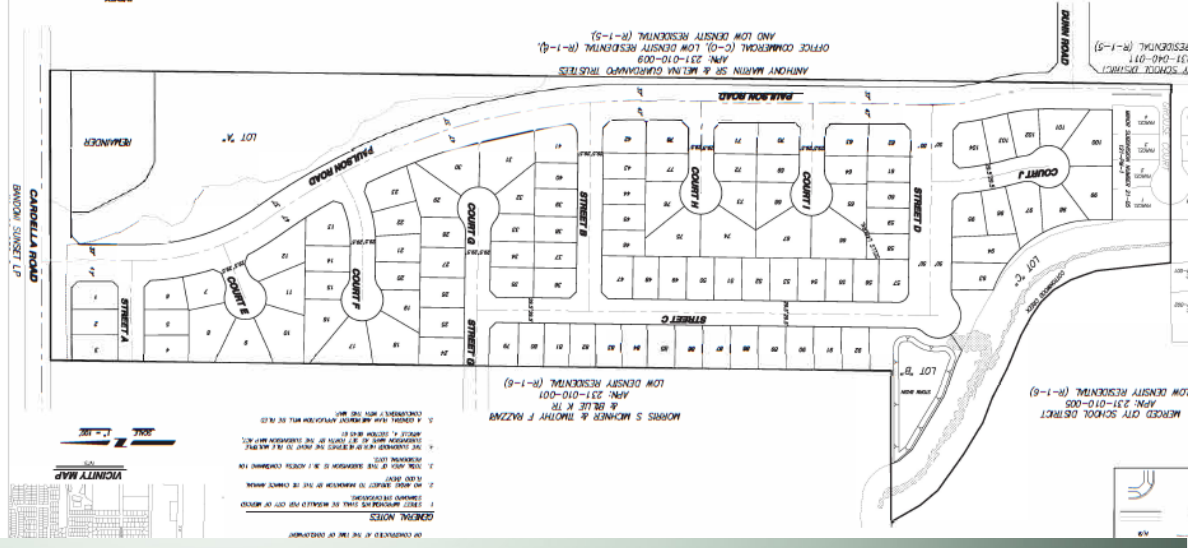
- Galloway Enterprises conducted a field survey and identified areas where historical flooding from adjacent waterways created wetlands.
- The proposed subdivision (Paulson Ranch) is designed to avoid these areas.
- This requires eliminating a collector road (Destiny Drive) from the site (GPA #24-01) and amending the previously approved Northeast Yosemite Specific Plan.



39.12 Acres

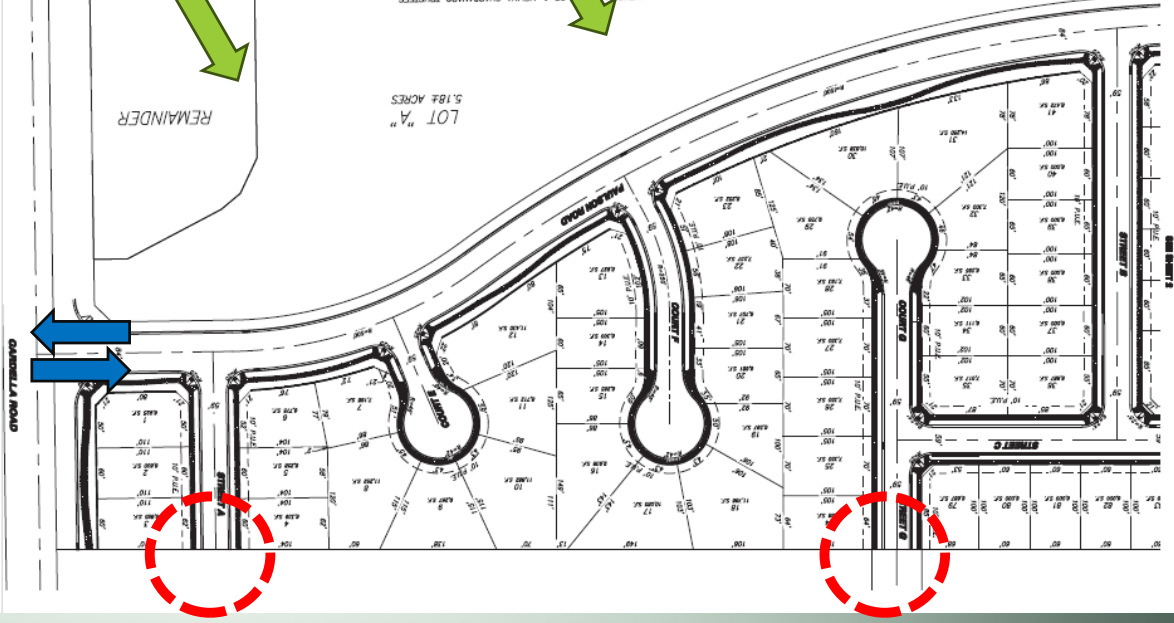
104 Total Lots

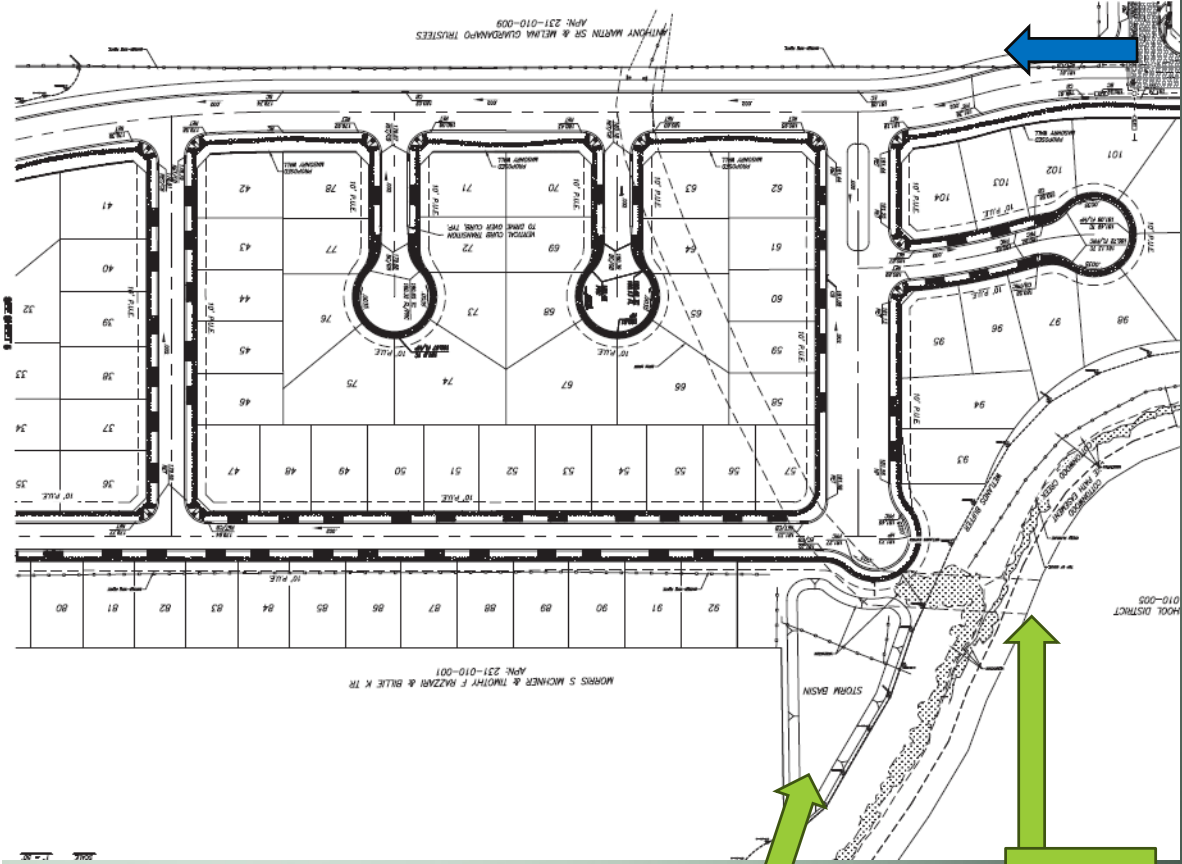
- Lots – 6,000 s.f. to 14,250 s.f.
- Paulson Road would extend utilities and vehicle access north to Cardella Road



Remainder Lot

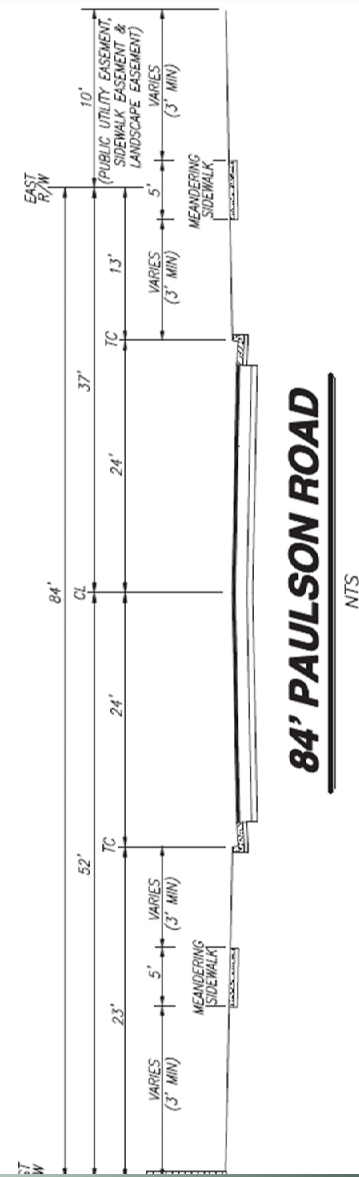
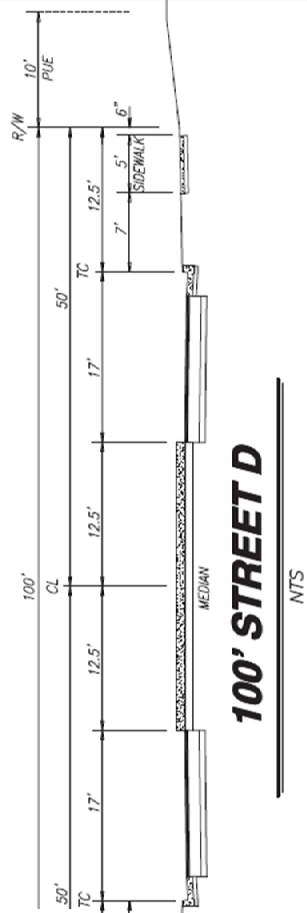
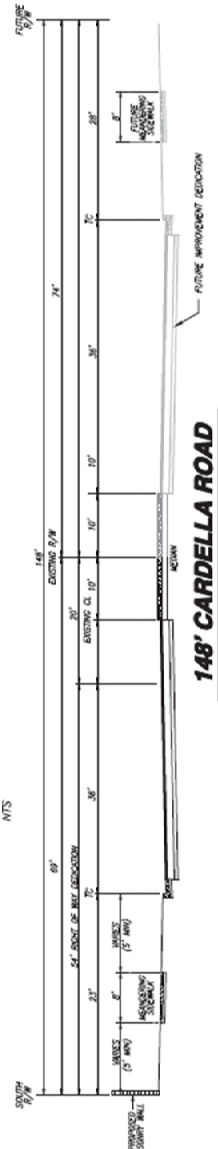
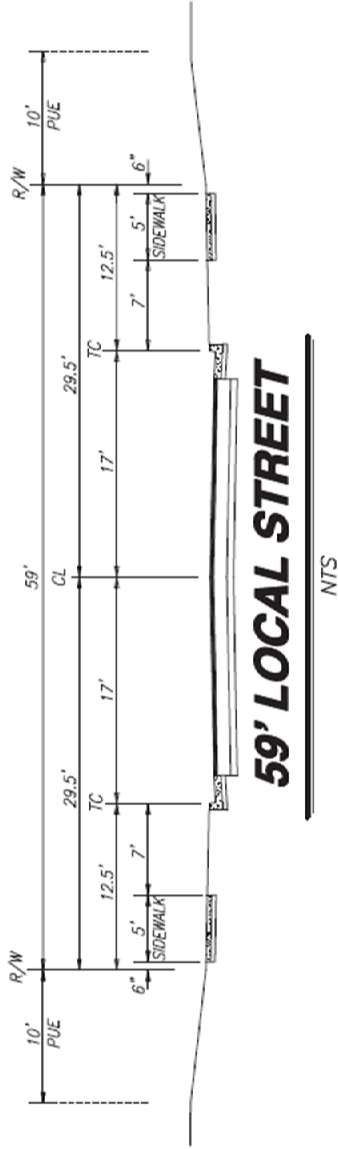
Lot A (5.18 AC) undevelopable
due to wetlands

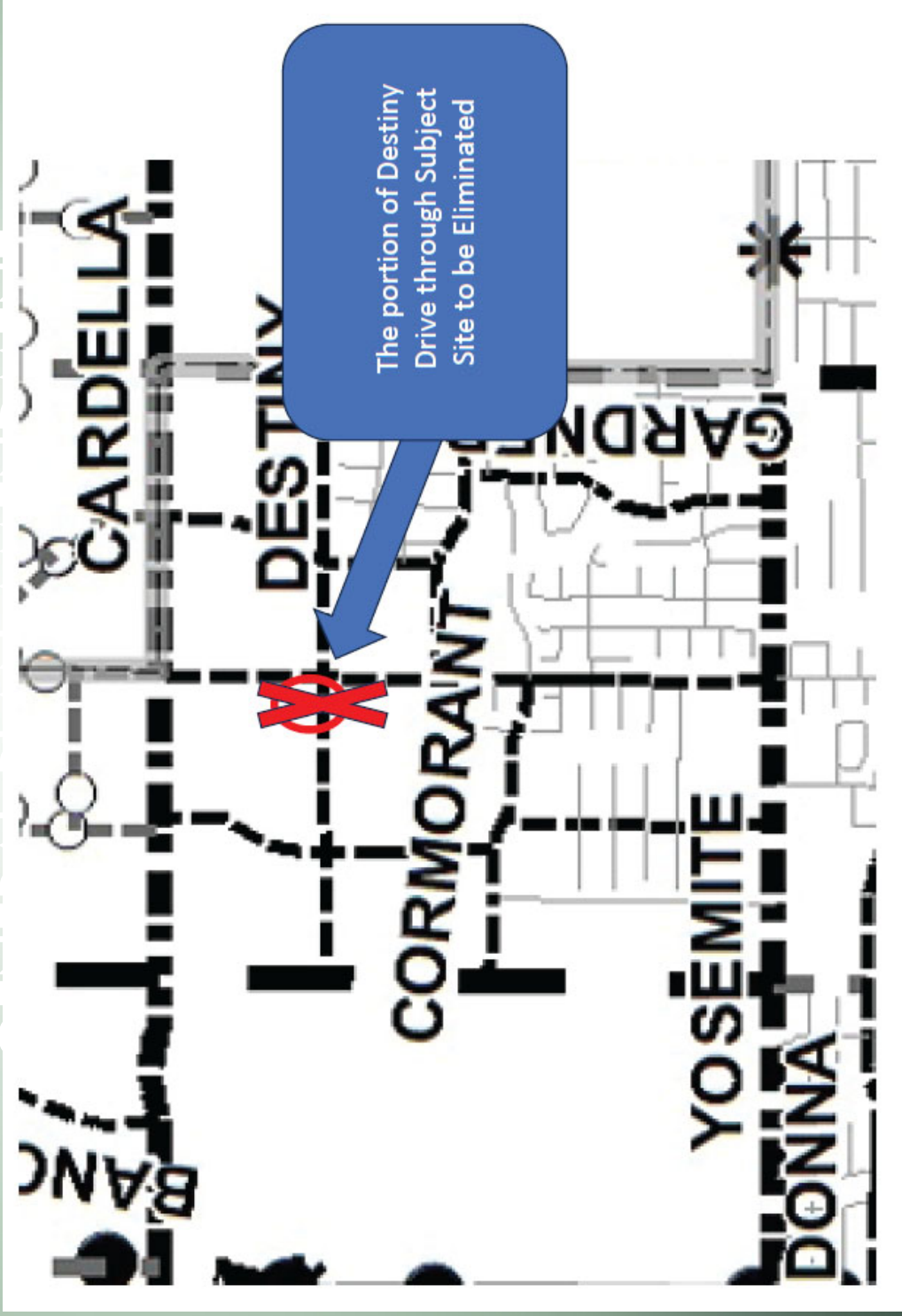




Lot B (Storm Basin) 0.85 AC

25-foot-wide Bike Path on
South Side of Cotton Wood
Creek





NORTHEAST YOSEMITE SPECIFIC PLAN

- Specific plan approved with annexation into City limits, during the 1990's.
- Circulation and subdivision layout being redesigned because of wetlands along eastern portion of project site.



Figure 1
Specific Plan
Northeast Yosemite Specific Plan

PUBLIC COMMENTS

- Public hearing Notices were published in a qualifying newspaper and mailed to property owners within 300 feet of the subject site for both CC and PC Meetings.
- Staff reached out to utility companies and other agencies to solicit comments.
 - Staff did not receive comments from the general public prior to this presentation prepared for the City Council Meeting, or from the Planning Commission Meeting of May 7, 2025.

CITY COUNCIL ACTION

- Approve/Disapprove/Modify:
 - Environmental Review #24-07 (Negative Declaration)
 - General Plan Amendment (GPA) #24-01 and Northeast Yosemite Specific Plan Amendment #6

Note: VTSM approved by PC on May 7, 2025