

CITY OF MERCED
Site Plan Review Committee

MINUTES

Planning Conference Room
2nd Floor Civic Center
Thursday, July 18, 2019

Chairperson McBRIDE called the meeting to order at 1:32 p.m.

1. ROLL CALL

Committee Members Present: Chief Building Official Frazier, Land Surveyor Cardoso (for Acting City Engineer Beltran), and Director of Development Services McBride

Committee Members Absent: None

Staff Present: Planning Manager Espinosa, and Associate Planner/Recording Secretary Mendoza-Gonzalez

2. MINUTES

M/S FRAZIER - CARDOSO, and carried by unanimous voice vote, to approve the Minutes of June 20, 2019, as submitted.

3. COMMUNICATIONS

None.

4. ITEMS

[Secretary's Note: Item 4.2 was moved ahead of Item 4.1]

- 4.2 Site Plan Application #441, submitted by James Kinney, on behalf of Nation Retail Properties, LP, property owner. The applicant is requesting approval to add a second queue line and install shade canopies with payment islands at the Prime Shine Car Wash located at 1800 West Olive Avenue within Planned Development (P-D) #16.

Site Plan Review Committee Minutes

July 18, 2019

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Associate Planner MENDOZA-GONZALEZ reviewed the application. Refer to Draft Site Plan Resolution #441 for further information.

M/S FRAZIER - CARDOSO, and carried by the following vote to adopt a Categorical Exemption regarding Environmental Review #19-16, and approve Site Plan Application #441, subject to the Findings and thirteen (13) conditions set forth in Draft Resolution #441:

AYES: Committee Members Cardoso, Frazier, and Chairperson McBride

NOES: None

ABSENT: None

- 4.1 Site Plan Application #439, submitted by Shemoil Moradzadeh, property owner. The applicant is requesting approval to construct the Campus Parkway Plaza, consisting of 4 drive-thru restaurants (3 building pads totaling 9,200 square feet), 2 dine-in restaurants (2 building pads totaling 4,800 square feet), a gas station/24-hour food mart (4,000 square feet and separate 12-pump fuel canopy), and a 5-story hotel with 134 rooms and conference space (totaling 105,300 square feet) on an approximate 7.5-acre vacant lot, generally located at the southwest corner of Mission Avenue and Coffee Street within Planned Development (P-D) #35, with a General Plan designation of Thoroughfare Commercial (CT).

Associate Planner MENDOZA-GONZALEZ reviewed the application. Refer to Draft Site Plan Resolution #439 for further information.

The applicant and his engineer were in attendance to answer questions from the Committee.

Director of Development Services McBRIDE noted that Condition #7 should be modified to require the initiation of a Community Facilities District (CFD) prior to issuance of the first certificate of occupancy instead of the first building permit. This would be

consistent with other projects within the City, and this would provide the developer additional time to form the CFD.

The applicant's engineer asked if a condition could be added to reflect that this Site Plan Review Permit is being reviewed in lieu of a conditional use permit, as originally required when this parcel was rezoned in 2001 (shown at Exhibit E of Draft Resolution #439).

Planning Manager ESPINOSA explained that the City Council recently adopted a comprehensive Zoning Ordinance Amendment. The entitlement process for various developments is now different. The current Zoning Ordinance now requires a site plan review permit instead of a conditional use permit for the proposed project. Condition #33 could be added to reflect this.

M/S CARDOSO - FRAZIER, and carried by the following vote to adopt a Section 15162 Finding regarding Environmental Review #19-13, and approve Site Plan Application #439, subject to the Findings and thirty-two (32) conditions set forth in Draft Resolution #439, with a modification to Condition #7 and the addition of Condition #33:

- “7. Community Facilities District (CFD) formation is required for the entire Campus Parkway Plaza for annual operating costs for police and fire services as well as storm drainage, public landscaping, street trees, street lights, parks, and open space. CFD procedures shall be initiated before issuance of the first ~~building permit~~ certificate of occupancy. Developer/Owner shall submit a request agreeing to such a procedure, waiving right to protest and post deposit as determined by the City Engineer to be sufficient to cover procedure costs and maintenance costs expected prior to first assessments being received.
- “33. The approval of this Site Plan Review Permit shall substitute for the conditional use permit referred to at Exhibit E under Mitigation R-1.”

AYES: Committee Members Cardoso, Frazier, and
Chairperson McBride
NOES: None
ABSENT: None

5. **INFORMATION ITEMS**

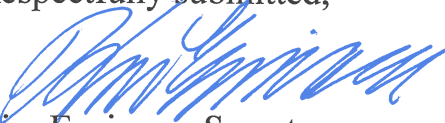
5.1 Calendar of Meetings/Events


There was no discussion regarding the calendar of meetings/events.

6. **ADJOURNMENT**

There being no further business, Chairperson McBRIDE adjourned the meeting at 2:15 p.m.

Respectfully submitted,


Kim Espinosa, Secretary
Merced City Site Plan Review Committee

APPROVED:

Scott McBride, Chairperson/
Director of Development Services
Merced City Site Plan Review Committee

CITY OF MERCED
 SITE PLAN REVIEW COMMITTEE
 RESOLUTION #439

<p><u>Shemoil Moradzadeh</u> APPLICANT</p> <hr/> <p>3070 M St., #8</p> <hr/> <p>ADDRESS</p> <hr/> <p>Merced, CA 95384</p> <hr/> <p>CITY/STATE/ZIP</p> <hr/> <p>(209) 383-3370</p> <hr/> <p>PHONE</p>	<p>Request to construct the Campus Parkway Plaza consisting of 4 drive-thru restaurants, 2 dine-in restaurants, a gas station, and a hotel with ancillary uses/amenities.</p> <hr/> <p>PROJECT</p> <hr/> <p>Southwest Corner of Campus Parkway and Coffee Street</p> <hr/> <p>PROJECT SITE</p> <hr/> <p>061-250-084</p> <hr/> <p>APN</p> <hr/> <p>Planned Development (P-D) #35</p> <hr/> <p>ZONING</p>
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In accordance with Chapter 20.68 of the Merced City Zoning Ordinance, the Site Plan Review Committee reviewed and approved Site Plan Application #439 on July 18, 2019, submitted by Shemoil Moradzadeh, property owner. The applicant is requesting approval to construct the Campus Parkway Plaza, consisting of 4 drive-thru restaurants (3 building pads totaling 9,200 square feet), 2 dine-in restaurants (2 building pads totaling 9,100 square feet), a gas station/24-hour food mart (4,000 square feet and separate 12-pump fuel canopy), and a 5-story hotel with 134 rooms and conference space (totaling 105,300 square feet) on an approximately 7.5-acre lot, generally located at the southwest corner of Campus Parkway and Coffee Street within Planned Development (P-D) #35, with a General Plan designation of Thoroughfare Commercial (CT). Said property being described as Parcel 4 as shown on the map entitled “L.J. Steiner, LLC,” recorded in Volume 99, Page 26 of Merced County Records, also known as Assessor’s Parcel Number (APN) 061-250-084.

WHEREAS, Planning staff has conducted an environmental review of the project in accordance with the requirements of the California Environmental Quality Act (CEQA), and concluded that Environmental Review #19-13 is a second tier environmental document, based upon the City's determination that the proposed development remains consistent with the current General Plan and provisions of CEQA Guidelines, Section 15162 [Environmental Review #00-05 (Expanded Initial Study for General Plan Amendment #00-01/Zone Change #370)]. A copy of the Section 15162 Findings can be found at Exhibit F; and,

WHEREAS, the Merced City Site Plan Review Committee makes the following Findings:

- A) The proposal complies with the General Plan designation Thoroughfare Commercial (CT) and the Zoning classification of Planned Development (P-D) #35.
- B) The applicant is proposing to construct 4 drive-thru restaurants (with 3 building pads totaling 9,200 square feet), 2 dine-in restaurants (2 building pads totaling 4,800 square feet), a gas station/24-hour food mart (4,000 square feet and separate 12-pump fuel canopy), and a 5-story hotel with 134 rooms and conference space (totaling 105,300 square feet) on an approximately 7.5-acre lot. Vehicle access will be provided from 3 driveways along Coffee Street (Exhibit B).
- C) The applicant will provide landscape plans during the building permit stage (see Conditions #8 and #19).
- D) All applicable Mitigation Measures contained in the Mitigation Monitoring Program previously approved for this site shall apply (see Exhibit E).
- E) The signage shown on the elevations (Exhibit C) is being provided for conceptual purposes only and is excluded from this request, and is specifically not approved with this request. Any new “Freeway” signs as defined by the City’s Ordinance are subject to the Planning Commission approval as well. Sign permit applications for individual signs will be submitted to the Inspection Services Department. All signing shall comply with the City’s Sign Ordinance, and a Master Sign Program shall be submitted to City staff for approval. Building permits shall be obtained prior to installing any permanent signing. A Temporary Sign Permit shall be obtained prior to installing any temporary signs or banners (see Condition #21).
- F) The proposed building pads are being reviewed and approved in concept with this Site Plan Review Permit. Exterior elevations have yet to be submitted for the building pads, except for the Hilton Hotel and Chevron gas station/food mart. The remaining exterior elevations shall be reviewed and approved by the Director of Development Services during the building permit stage (Condition #31). Said elevations shall match or compliment the architectural style (in design, material, and color) that is being approved for the Hilton Hotel and Chevron gas station/food mart. Significant modifications to this site plan may require referral to the Site Plan Review Committee, at the discretion of the Director of Development Services.
- G) The parking requirement for hotels is 1 parking space per 1 sleeping unit or suite up to 100 units, 1 per each 2 units for each unit thereafter. Hotel conference rooms and hotel restaurants are considered ancillary uses which do not require additional parking spaces. Therefore, the parking requirement for the hotel is 117 spaces. The parking requirement for a gas station is 3 spaces plus 1 per 250 square feet of retail space, thus requiring 19 parking spaces for the proposed Chevron/Food Mart. The parking requirements for drive-thru establishments is

1 space per 350 square feet of floor area, thus requiring 27 parking spaces for the proposed drive-thru restaurants. The parking requirement for full service restaurants is 1 parking space per 100 square feet of floor seating area or 1 per 2.5 seats, whichever is greater, thus requiring 91 parking spaces based on the floor areas of the proposed restaurants (information about seating could not be provided at this time). As proposed, the entire Campus Parkway Plaza requires a minimum of 254 parking spaces. The proposal exceeds those requirements by providing a total of 388 parking spaces.

- H) The applicant shall provide short-term bicycle parking spaces for the new building pads equivalent to 8% of required parking spaces and long-term bicycle parking spaces equivalent to 8% of required parking spaces (minimum of 2 spaces per building). In addition, the bicycle parking spaces should meet the City's design standards for bicycle racks, including those pertaining to installing covered shelters. Details to be worked out with Planning staff during the building permit stage. Gas Stations are exempt from providing bicycle parking spaces, however, the convenience market is not exempt. Therefore, bicycle parking spaces are required in compliance with Section 20.38.080 (Condition #9).
- I) Zoning Ordinance Section 20.44.160 prohibits tobacco sales within 1,000 feet of a school site. Pioneer Elementary School is located at the northwest corner of Parsons Avenue and Alfalfa Road, and is within 1,000 feet of the project site (Exhibit D). The applicant is considering submitting a minor subdivision application so that the gas station is located at least 1,000 feet away from Pioneer Elementary School. Once the parcel map is recorded, the parcel for the gas station may be outside the 1,000-foot buffer for tobacco sales. Refer to Condition #17 regarding tobacco sales.
- J) Alcohol sales are not proposed with this application. Alcohol sales for offsite consumption require approval of a conditional use permit from the Planning Commission (Condition #16).
- K) The City Council recently approved General Plan Amendment #19-01 to eliminate the portion of Mission Avenue, between Coffee Street and Highway 99, from the City's General Plan Transportation and Circulation Element (City Council Resolution #2019-25).
- L) The City Council recently approved Vacation #18-01 to vacate the portion of Mission Avenue, between Coffee Street and Highway 99, and to allow the City Manager to execute a quit claim or grant deed to transfer ownership of said land to the owner of the subject site, Shemoil Moradzadeh (City of Merced Resolution #2019-34). The applicant intends to submit a minor subdivision application to ensure that the added land meets the City's lot size/dimension requirements (Condition #32).

- M) The southernmost 40-foot-wide strip of land is owned by Merced County and located within their jurisdiction. The Merced Irrigation District (MID) currently has facilities within this area. The applicant is in the process of working with Merced County to develop on this strip of land. Approval of this specific site plan, does not give the applicant the right to develop on County property however. The approval of this permit is to develop on property within the City limits only. The applicant must obtain approval from Merced County to develop on their land (Condition #11).
- N) The storm drainage basin for this project will be located off-site on Assessor's Parcel Number 061-250-098 (a 13.25-acre parcel). See Condition #26.

NOW, THEREFORE, BE IT RESOLVED that the Merced City Site Plan Review Committee does approve Site Plan Application #439 subject to the following conditions:

- 1) The site shall be constructed as shown on Exhibit B (site plan), Exhibit C (elevations), and as modified by the conditions of approval within this resolution.
- 2) All conditions contained in Site Plan Review #79-1 – Amended (“Standard Conditions for Site Plan Review Application”) shall apply.
- 3) All other applicable codes, ordinances, policies, etc., adopted by the City of Merced shall apply, including, but not limited to, the California Building Code and Fire Codes.
- 4) The developer/applicant shall indemnify, protect, defend (with counsel selected by the City), and hold harmless the City, and any agency or instrumentality thereof, and any officers, officials, employees, or agents thereof, from any and all claims, actions, suits, proceedings, or judgments against the City, or any agency or instrumentality thereof, and any officers, officials, employees, or agents thereof to attack, set aside, void, or annul, an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board, or legislative body, including actions approved by the voters of the City, concerning the project and the approvals granted herein. Furthermore, developer/applicant shall indemnify, protect, defend, and hold harmless the City, or any agency or instrumentality thereof, against any and all claims, actions, suits, proceedings, or judgments against any governmental entity in which developer/applicant's project is subject to that other governmental entity's approval and a condition of such approval is that the City indemnify and defend (with counsel selected by the City) such governmental entity. City shall promptly notify the developer/applicant of any claim, action, or proceeding. City shall further cooperate fully in the defense of the action. Should the City fail to either promptly notify or cooperate fully, the developer/applicant shall not thereafter be responsible to indemnify, defend, protect, or hold harmless the City, any agency or instrumentality thereof, or any of its officers, officials, employees, or agents.

- 5) The developer/applicant shall construct and operate the project in strict compliance with the approvals granted herein, City standards, laws, and ordinances, and in compliance with all State and Federal laws, regulations, and standards. In the event of a conflict between City laws and standards and a State or Federal law, regulation, or standard, the stricter or higher standard shall control.
- 6) Notwithstanding all other conditions, all construction and improvements shall be in strict accordance with Zoning, Building, and all other codes, ordinances, standards, and policies of the City of Merced.
- 7) Community Facilities District (CFD) formation is required for the entire Campus Parkway Plaza for annual operating costs for police and fire services as well as storm drainage, public landscaping, street trees, street lights, parks, and open space. CFD procedures shall be initiated before issuance of the first certificate of occupancy. Developer/Owner shall submit a request agreeing to such a procedure, waiving right to protest and post deposit as determined by the City Engineer to be sufficient to cover procedure costs and maintenance costs expected prior to first assessments being received.
- 8) The parking lot layout shall comply with all applicable City Standards. Parking lot trees shall be provided at a ratio of one tree for every six parking spaces within this site. These trees shall be installed per the City's Parking Lot Landscape Standards, shall be a minimum of 15 gallons, and be of a type that provides a 30-foot minimum canopy at maturity (trees shall be selected from the City's approved tree list).
- 9) Bicycle parking shall be provided as required by Zoning Ordinance Section 20.38.080. Short-term bicycle parking shall be equivalent to 8% of required automobile parking spaces. Long-term parking spaces are not required for this use. All bicycle parking spaces shall meet the City's design standards for bicycle racks.
- 10) The property owner shall contact MID and enter into all necessary agreements for all crossings over or under any MID facilities including utilities, bridges, driveways, and pipelines and for all work associated with MID facilities and for any construction within MID easements.
- 11) The property owner shall provide the City proof of approval from Merced County to develop the southernmost 40-foot-wide strip of land that belongs to Merced County and is located within their jurisdiction prior to issuance of a building permit for the hotel.
- 12) Appropriate turning radii shall be provided within the parking areas to allow for Fire Department and refuse truck access.
- 13) All improvements including, but not limited to, sidewalk, curb, gutter, street lights, and street trees, shall be installed along the project frontage on Coffee Street and Campus Parkway.

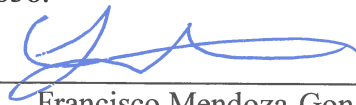
- 14) The design of the intersection of Campus Parkway and Coffee Street, including the northbound turn lanes and stacking distances, shall be subject to approval of the City Engineer.
- 15) The applicant shall demonstrate to the satisfaction of the City Engineer that sufficient stacking room is provided for the turn lane on Coffee Street. If sufficient stacking room is not provided, an additional turn lane shall be provided.
- 16) Alcohol sales are not permitted with this approval. If alcoholic beverages are to be sold for off-site consumption at this location, approval of a conditional use permit shall be required. If the Census Tract for this location is over-concentrated as determined by the California Department of Alcoholic Beverage Control (ABC), a Finding of Public Convenience or Necessity by the City Council shall be required.
- 17) Tobacco sales are not permitted with this approval. However, if in the future, the parcel is determined to be more than 1,000 feet from a school, tobacco sales would be allowed.
- 18) Irrigation for all on-site landscaping shall be provided by a drip system or micro-spray system in accordance with the State's Emergency Regulation for Statewide Urban Water Conservation or any other state or City mandated water regulations.
- 19) The on-site landscape design shall include the use of xeriscape landscaping and avoid the use of turf as much as possible.
- 20) All landscaping shall be kept healthy and maintained, and any damaged or missing landscaping shall be replaced immediately.
- 21) The signage shown on the elevations (Exhibit C) is excluded from this request and shall be approved through the Master Sign Program process. A conditional use permit is required for freeway signs. Building permits shall be obtained prior to installing any permanent signing. A Temporary Sign Permit shall be obtained prior to installing any temporary signs or banners. Temporary freestanding or A-frame signs are not allowed.
- 22) A grease interceptor or other approved device shall be installed for the convenience market and any other restaurants or other uses that are required by City Standards.
- 23) All mechanical equipment shall be screened from public view, including hotel wall-through air conditioners and roof/ground mounted equipment.
- 24) A backflow prevention device shall be provided for all water services (i.e., domestic, irrigation, and fire).
- 25) The applicant shall work with the City's Refuse Department to determine the best location for the refuse enclosures. Recycling containers would be required. A double trash enclosure may be required. All refuse containers shall be located within a refuse enclosure constructed per City Standards. The enclosures shall be designed to be "tamper proof," with lids or enclosure devices (designed as required by the City's Refuse Department).

- 26) The project shall comply with all City Standards for storm drainage. The developer shall work with the City Engineer to determine the requirements for storm drainage on the site. The developer shall provide all necessary documentation for the City Engineer to evaluate the storm drain system. All storm drain systems shall be installed to meet City Standards and State regulations.
- 27) The project shall comply with all the Post Construction Standards required to comply with state requirements for the City's Phase II MS-4 Permit (Municipal Separate Storm Sewer System).
- 28) The premises shall remain clean and free of debris at all times. All graffiti shall be removed within 48 hours.
- 29) The proposed driveways along Coffee Street shall line-up with driveways approved for the Gateway Shopping Center across Coffee Street, or be located as otherwise required by the City Engineer.
- 30) The developer shall contribute their fair share (12.5% of cost) towards installing a traffic signal at the intersection of Coffee Street and Campus Parkway. Estimate costs for the traffic signal shall be determined by the City Engineer.
- 31) The proposed building pads are being reviewed and approved in concept with this Site Plan Review Permit. Exterior elevations have yet to be submitted for the building pads, except for the Hilton Hotel and Chevron gas station/food mart. The remaining exterior elevations shall be reviewed and approved by the Director of Development Services during the building permit stage. Said elevations shall match or compliment the architectural style (in design, material, and color) that is being approved for the Hilton Hotel and Chevron gas station/mini mart. Significant changes to this site plan may require referral to the Site Plan Review Committee, at the discretion of the Director of Development Services.
- 32) The applicant shall submit a minor subdivision application to ensure that the land added by Vacation #18-01 meets City lot size/dimension requirements.
- 33) The approval of this Site Plan Review Permit shall substitute the conditional use permit referred to at Exhibit E under Mitigation R-1.

If there are any questions concerning these conditions and recommendations, please contact Francisco Mendoza-Gonzalez at (209) 385-6858.

7/18/19

DATE



Francisco Mendoza-Gonzalez

Associate Planner

TITLE

Exhibits

- A) Location Map
- B) Site Plan
- C) Elevations
- D) Map of 1,000-foot radius from a School
- E) Mitigation Measures and Mitigation Monitoring Program
- F) CEQA Section 15162 Findings



EXHIBIT A

PROPOSED COMMERCIAL DEVELOPMENT FOR:

CAMPUS

PARKWAY PLAZA

MISSION AVENUE AND COFFEE STREET MERCED, CALIFORNIA

SHEET INDEX

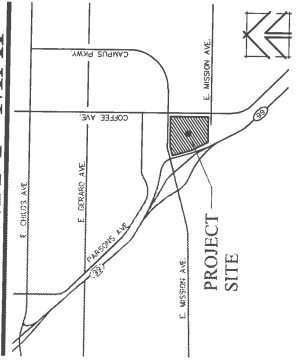
SHEET NO.	SHEET DESCRIPTION
PP-1	COVER SHEET, PROJECT STATISTICS, TITLE BLOCK, BOUNDARY MAP, SITE NOTES
PP-2	HOTEL, EXTERIOR ELEVATIONS
PP-3	HOTEL, INTERIOR ELEVATIONS
PP-4	RETAIL, RESTAURANT, AND OFFICE ELEVATIONS
PP-5	RETAIL, RESTAURANT, AND OFFICE ELEVATIONS
PP-6	RETAIL, RESTAURANT, AND OFFICE ELEVATIONS

T H E
VINCENT
COMPANY
ARCHITECTS INC.
1500 West Shaw, Ste. 304
Fresno, California 93711
Phone: 559.225.2602

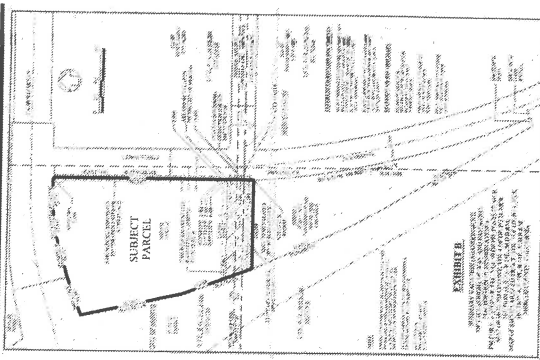
STATISTICS

STATISTIC	VALUE
CITY OF MERCED PROJECT ADDRESS	MISSION AVENUE AND COFFEE STREET, MERCED, CALIFORNIA
PROJECT OWNER	SHOAL MORANZADEH, 1500 WEST SHAW, STE. 304, FRESNO, CALIFORNIA 93711, (509) 305-3370
LEGAL DESCRIPTION	LOT 1, TRACT 100, COMMERCIAL DEVELOPMENT, MERCED COUNTY RECORDS-27
GENERAL PLAN DESIGNATION	PLANNED DEVELOPMENT (PD)
EXISTING ZONING	CR-1-250-084
ASSESSOR'S PARCEL	134.0000 5 STORY HOTEL, FOOD RESTAURANTS WITH FAST FOOD RESTAURANTS WITH FULL-SERVICE RESTAURANTS (2 TOTAL)
PROPOSED USE(S)	134.0000 5 STORY HOTEL, FOOD RESTAURANTS WITH FAST FOOD RESTAURANTS WITH FULL-SERVICE RESTAURANTS (2 TOTAL)

BOUNDARY MAP



BOUNDARY MAP



SITE NOTES

- NO USE OF THE SUBMITTED MATERIALS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT. THE ARCHITECT'S APPROVAL SHALL BE OBTAINED BY THE CONTRACTOR MANAGEMENT DIVISION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL UTILITIES REQUIRING RELOCATION SHALL BE THE RESPONSIBILITY AND OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MERCED, CALIFORNIA, AND THE CALIFORNIA WATER SERVICES BOARD (CWSB) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MERCED, CALIFORNIA, AND THE CALIFORNIA WATER SERVICES BOARD (CWSB) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
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EXHIBIT C

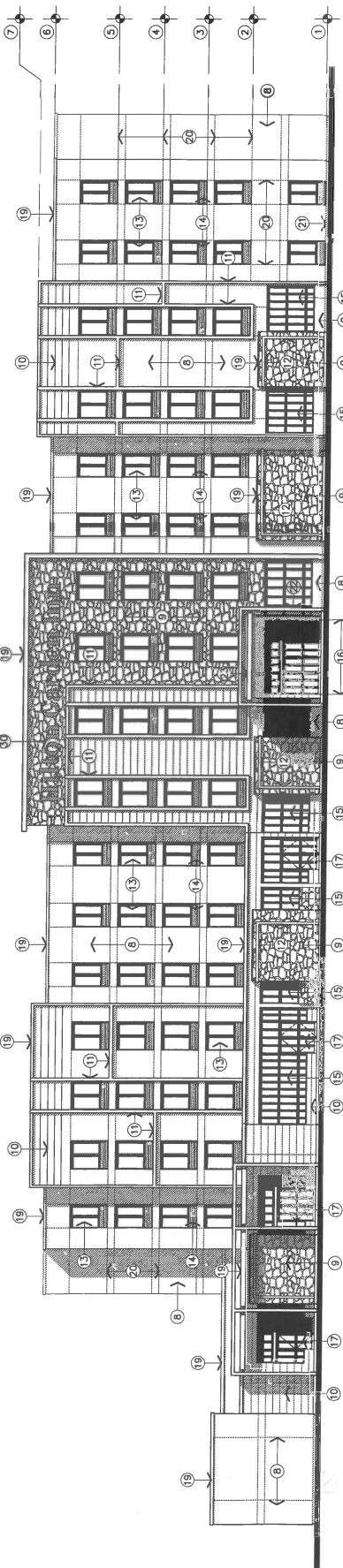
PROPOSED COMMERCIAL DEVELOPMENT FOR
CAMPUS
PARKWAY PLAZA
MISSION AVENUE AND COFFEE STREET
MERCED, CALIFORNIA



REVISION	DATE
DESIGN REVIEW	
PLAN CHECK	
BACK CHECK	
PERMITS	
CONSTRUCTION	
AS-BUILT	

All drawings and written material appearing herein constitute original work of the architect and may not be duplicated, used, or disclosed without written consent of the architect.

PROJECT NAME: CAMPUS PARKWAY
PROJECT NUMBER: 17101
DATE: 05/23/19
DRAWN BY: [Name]
CHECKED BY: [Name]



HOTEL NORTH ELEVATION

EXTERIOR ELEVATIONS

3/02" = 1'-0"

KEYNOTES

- 1 FINISHED FLOOR ELEVATION: + 6'-0"
- 2 FINISHED SECOND FLOOR ELEVATION: + 15'-3"
- 3 FINISHED THIRD FLOOR ELEVATION: + 24'-3"
- 4 FINISHED FOURTH FLOOR ELEVATION: + 34'-1"
- 5 FINISHED FIFTH FLOOR ELEVATION: + 43'-5"
- 6 TOP OF PARAPET ELEVATION: + 50'-8"
- 7 TOP OF WALL ELEVATION: + 59'-8"
- 8 INSTALL EXTERIOR INSULATION AND FINISH SYSTEM (SIS) IN ACCORDANCE WITH THE MANUFACTURER'S MOST RECENT RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
- 9 INSULATE EXTERIOR WALLS WITH R-15 POLYSTYRENE INSULATION (PIR) IN ACCORDANCE WITH THE MANUFACTURER'S MOST RECENT RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
- 10 INSTALL EXTERIOR FINISH SYSTEM (SIS) IN ACCORDANCE WITH THE MANUFACTURER'S MOST RECENT RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
- 11 APPLY EXTERIOR FINISH SYSTEM (SIS) TO EXTERIOR WALLS IN ACCORDANCE WITH THE MANUFACTURER'S MOST RECENT RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
- 12 APPLY EXTERIOR FINISH SYSTEM (SIS) TO EXTERIOR WALLS IN ACCORDANCE WITH THE MANUFACTURER'S MOST RECENT RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
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- 27 APPLY EXTERIOR FINISH SYSTEM (SIS) TO EXTERIOR WALLS IN ACCORDANCE WITH THE MANUFACTURER'S MOST RECENT RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
- 28 APPLY EXTERIOR FINISH SYSTEM (SIS) TO EXTERIOR WALLS IN ACCORDANCE WITH THE MANUFACTURER'S MOST RECENT RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.

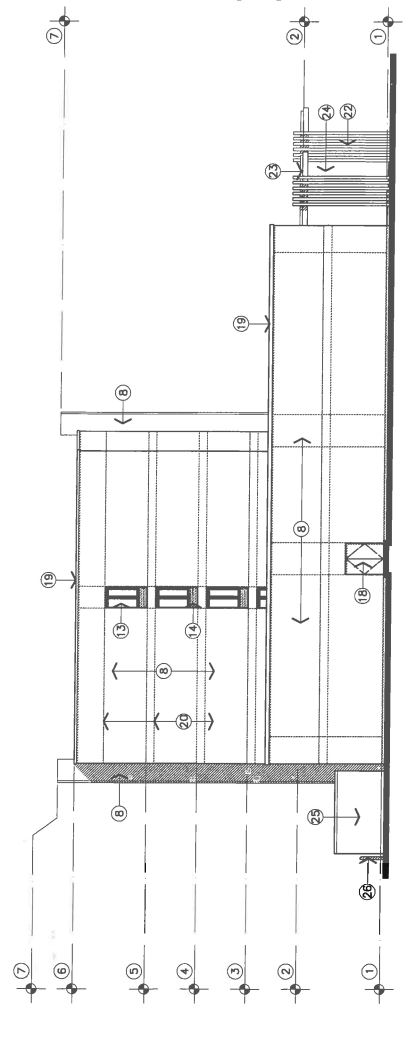
CAMPUS
PARKWAY PLAZA

PROSPECT COMMERCIAL DEVELOPMENT FOR
MISSION AVENUE AND COFFEE STREET
MERCED, CALIFORNIA

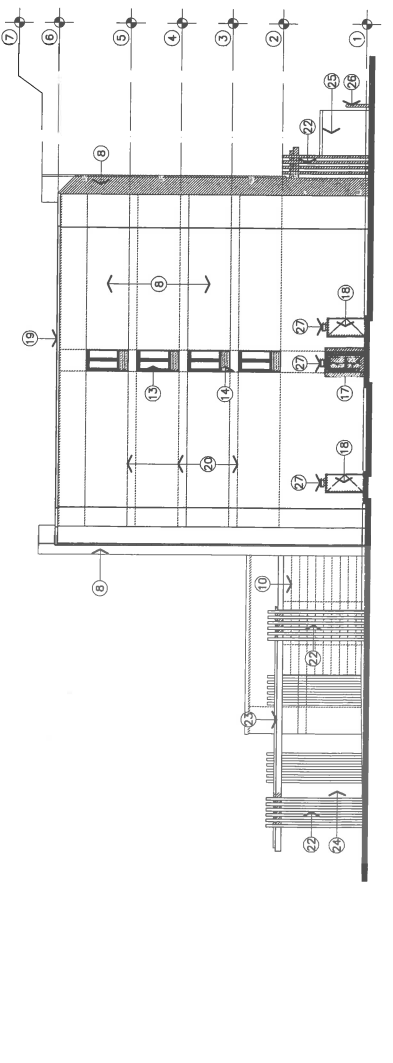


TH E VINCENT COMPANY
ARCHITECTS
1500 West Shaw, Ste. 304
Fresno, California 93711
Phone: 559.225.2602

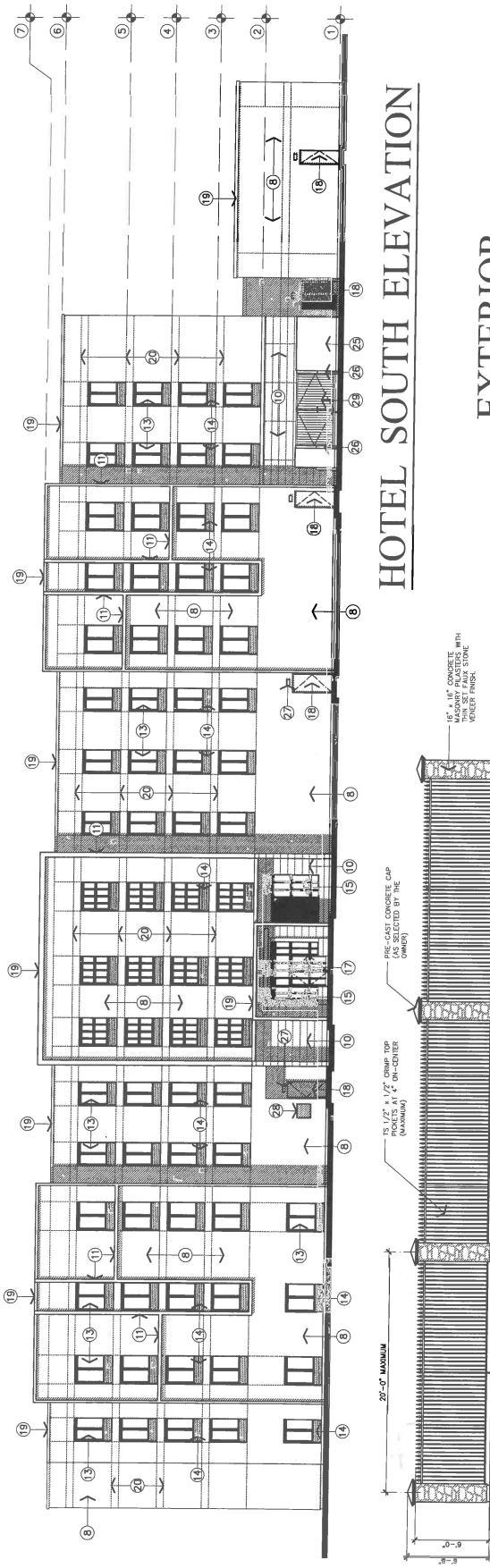
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Project Number: 171021
Sheet Number: PP3



HOTEL WEST ELEVATION



HOTEL EAST ELEVATION



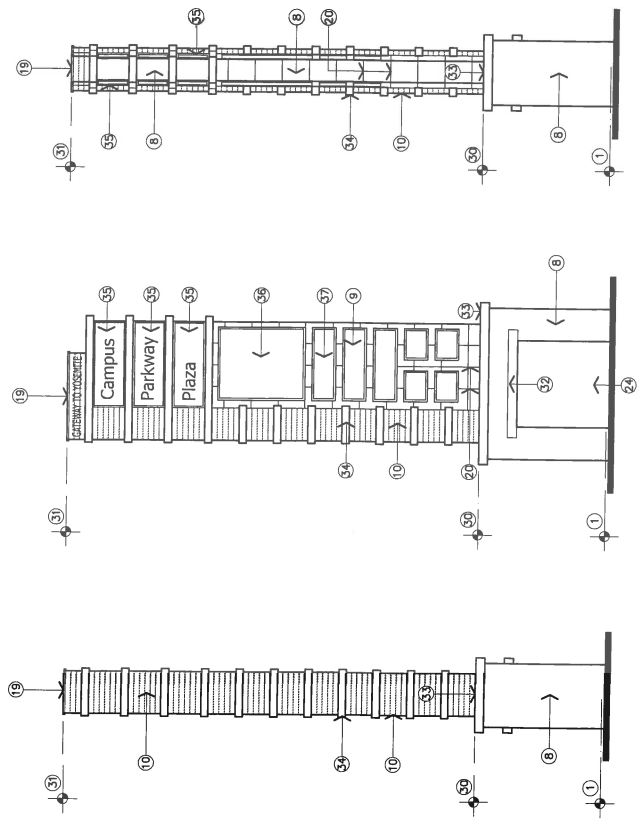
HOTEL SOUTH ELEVATION

EXTERIOR ELEVATIONS

KEYNOTES

- 1 FINISHED FLOOR ELEVATION: + 0'-0"
- 2 FINISHED SECOND FLOOR ELEVATION: + 10'-5"
- 3 FINISHED THIRD FLOOR ELEVATION: + 21'-5"
- 4 FINISHED FOURTH FLOOR ELEVATION: + 34'-1"
- 5 FINISHED FIFTH FLOOR ELEVATION: + 49'-5"
- 6 TOP OF PARAPET ELEVATION: + 50'-5"
- 7 TOP OF WALL ELEVATION: + 59'-5"
- 8 INSTALL EXTERIOR INSULATION AND FINISH SYSTEM (ETIS) IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATIONS AND MOST RECENT REQUIREMENTS AS APPROVED BY THE ARCHITECT.
- 9 VIDEO CONTROL, FUEL FINISH SON.
- 10 INDICATES THE LOCATION OF FIBER CEMENT PANELS INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATIONS AND MOST RECENT REQUIREMENTS AS APPROVED BY THE ARCHITECT / TYPICAL.
- 11 INSTALL ACCENT LEDGE WITH EXTERIOR INSULATION AND FINISH SYSTEM REQUIREMENTS AS APPROVED BY THE ARCHITECT.
- 12 INSTALL ACCENT LEDGE WITH PRE-FINISHED SHEET METAL COVER.
- 13 VINYL FRAME WINDOWS WITH HUNTERS AND DUAL GLAZING AS SHOWN.
- 14 INSTALL EXTERIOR COVERS PAINT TO MATCH ADJACENT UNIT SCHEDULE.
- 15 INSTALL ALUMINUM STOREFRONT SYSTEM WITH DUAL GLAZING. COORDINATE THE WORK WITH THE FLOOR PLANS AND THE STOREFRONT SCHEDULE.
- 16 INSTALL ALUMINUM STOREFRONT AUTOMATIC DOOR SYSTEM WITH FLOOR PLANS AND THE STOREFRONT SCHEDULE.
- 17 INSTALL NARROW STYLE ALUMINUM STOREFRONT ENTRANCE DOORS WITH FLOOR PLANS AND THE STOREFRONT SCHEDULE.
- 18 INSTALL FLUSH HOLLOW METAL DOOR AND FRAME. COORDINATE THE WORK WITH THE FLOOR PLANS AND THE DOOR SCHEDULE.
- 19 INSTALL ALUMINUM STOREFRONT ADJACENT WALL.
- 20 MATCH ADJACENT METAL PANELS TO MATCH ADJACENT UNIT EXTERIOR INSULATION AND FINISH SYSTEM (ETIS) MANUFACTURER'S MOST RECENT REQUIREMENTS AS APPROVED BY THE ARCHITECT.
- 21 INSTALL SHEET METAL MESH SPOKED PRE-FINISHED TO MATCH ADJACENT UNIT EXTERIOR INSULATION AND FINISH SYSTEM (ETIS) MANUFACTURER'S MOST RECENT REQUIREMENTS AS APPROVED BY THE ARCHITECT.
- 22 INDICATES THE LOCATION(S) OF 4" x 6" STRUCTURAL STEEL SUPPORT ON THE EXTERIOR COLOR SCHEDULE. PROVIDE PAINTED FINISH AS NOTED ON THE EXTERIOR COLOR SCHEDULE.
- 23 INDICATES THE LOCATION(S) OF STRUCTURAL ROOF FRAMING AT THE EXTERIOR COLOR SCHEDULE. PROVIDE PAINTED FINISH AS NOTED ON THE EXTERIOR COLOR SCHEDULE.
- 24 OPEN TO BEYOND. COORDINATE WITH THE GROUND FLOOR PLAN.
- 25 INDICATES THE LOCATION OF FINISH ENCLOSURE WALL WITH ETIS FINISH SYSTEM REQUIREMENTS AS APPROVED BY THE ARCHITECT.
- 26 COORDINATE THE WORK WITH THE SITE PLAN.
- 27 INDICATES THE LOCATION OF 4" INCH DIAMETER x 48 INCH HIGH CONCRETE COVER. COORDINATE THE WORK WITH THE SITE PLAN.

POOL AREA FENCE ELEVATIONS



PROJECT FREEWAY SIGN ELEVATIONS

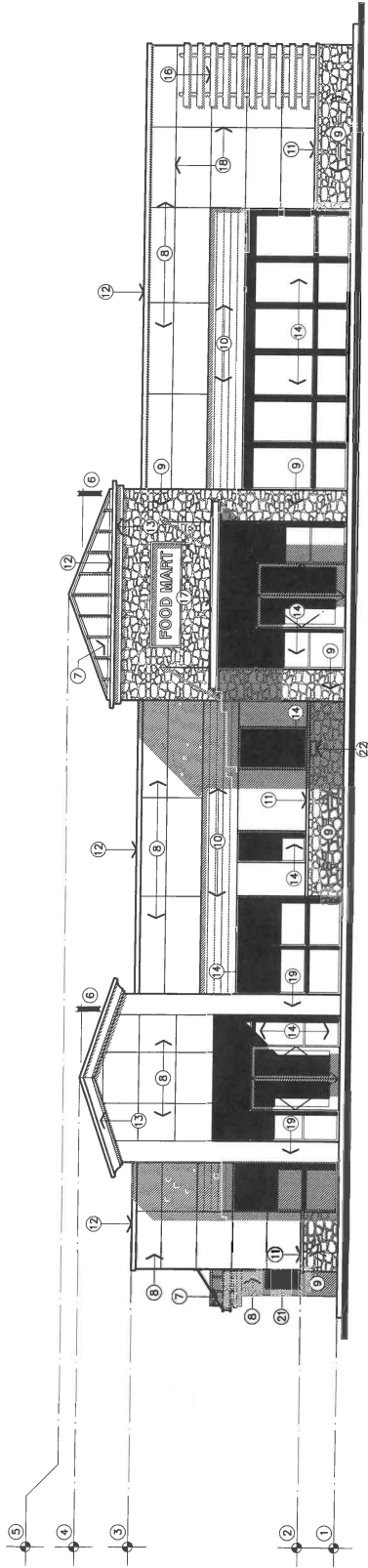
Project Name	CAMPUS
Project Number	13-13
Sheet Number	PP5
Scale	3/16" = 1'-0"
Project Location	MIRABEL, CALIFORNIA
Sheet Date	12-13
Sheet Author	



DESIGN REVIEW	
PLAN CHECK	
MARK CHECK	
PERMITS	
CONSTRUCTION	
AS-BUILT	

All drawings and written material supporting these drawings shall be prepared in accordance with the applicable code of the jurisdiction and shall be in accordance with the written contract of the architect.

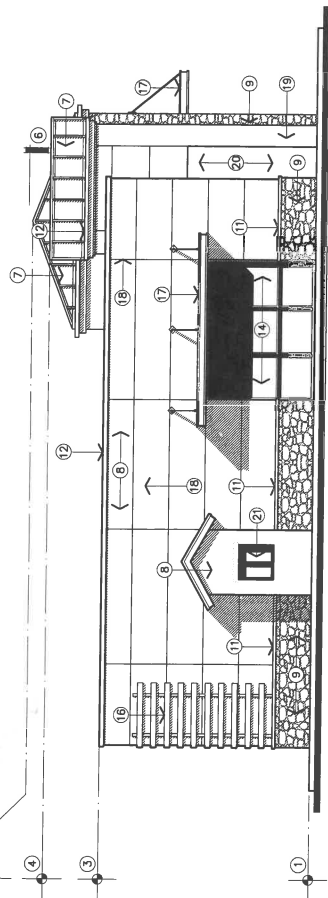
Reference Note:
1. See Note 1 on Sheet PP1.



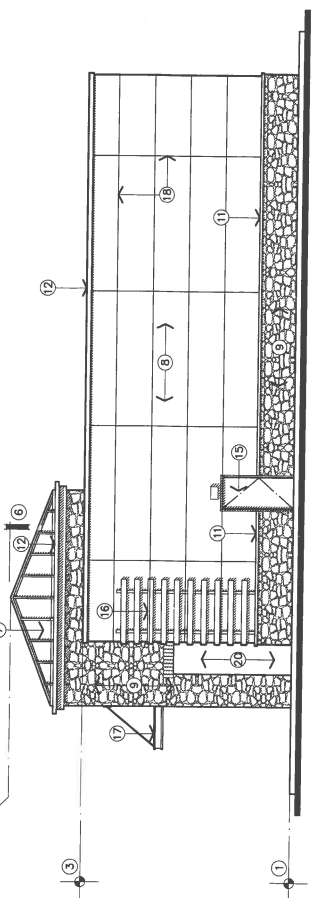
RETAIL PAD FRONT ELEVATION

KEYNOTES

- 1 FINISHED FLOOR ELEVATION: 4'-0"-0"
- 2 TOP OF TRIM: 4'-3"-0"
- 3 TOP OF PARAPET ELEVATION: 4'-7"-0"
- 4 TOP OF RIDGE ELEVATION: 4'-24"-0"
- 5 TOP OF RIDGE ELEVATION: 4'-28"-0"
- 6 TYPICAL ROOF PITCH: 4:12
- 7 PRE-FINISHED STANDING SEAM METAL ROOFING OVER 30# ROOFING FELT. METAL ROOFING SHALL BE INSTALLED PERPENDICULAR TO ROOF FRAMING. INSTALL METAL ROOFING PER MANUFACTURER'S MOST RECENT RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
- 8 INDICATES THE LOCATION OF THE MANUFACTURER'S MOST RECENT RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
- 9 INDICATES THE LOCATION OF THIN SET SAND STONE VENEER FINISH. FINISH SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S MOST RECENT RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
- 10 INDICATES THE LOCATION OF FIBER CONCRETE PANELS INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S MOST RECENT RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
- 11 INSTALL THIN-SET CHISELED EDGED MANSICOT SILL FOR THE MANUFACTURER'S RECOMMENDATIONS.
- 12 INDICATES LOCATION OF STEPPED CORNER PLASTER FASCIA INSTALLED OVER EXISTING CONCRETE WITH FIBERGLASS REINFORCING MESH AND GROUT COAT FINISH.
- 13 WINDOW SYSTEM WITH FACTORY FLUSH INSULATED METAL DOOR WITH METAL FRAME AND HARDWARE. PAINT SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S MOST RECENT RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
- 14 INDICATES THE LOCATION OF 2" x 4" HORIZONTAL METAL SLATS OVER METAL VERTICAL SUPPORTS. PREPARE SURFACE AND PAINT AS NOTED ON THE EXTERIOR FINISH SCHEDULE.
- 15 INDICATES THE LOCATION OF FABRICATED STEEL FRAMING AND DIAGONAL BRACING. PREPARE SURFACE AND PAINT AS NOTED ON THE EXTERIOR FINISH SCHEDULE.
- 16 INSTALL SINGLE LINE GALVANIZED SHEET METAL PLASTER EXPANSION JOINT IN ACCORDANCE WITH THE MANUFACTURER'S MOST RECENT RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
- 17 WALL COORDINATE SIZE WITH THE FLOOR PLAN / TYPICAL.
- 18 INSTALL SELF-CLOSING DRIVE THROUGH WINDOW.
- 19 INDICATES LOCATION OF NIGHT MARKET DRAWER.



RETAIL PAD LEFT ELEVATION



RETAIL PAD RIGHT ELEVATION

EXTERIOR ELEVATIONS

3/16" = 1'-0"

Revisions: _____
Date: _____

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Numbers: _____
Date: _____

DESIGN REVIEW
 PLAN CHECK
 BACK CHECK
 PERMITS
 CONSTRUCTION

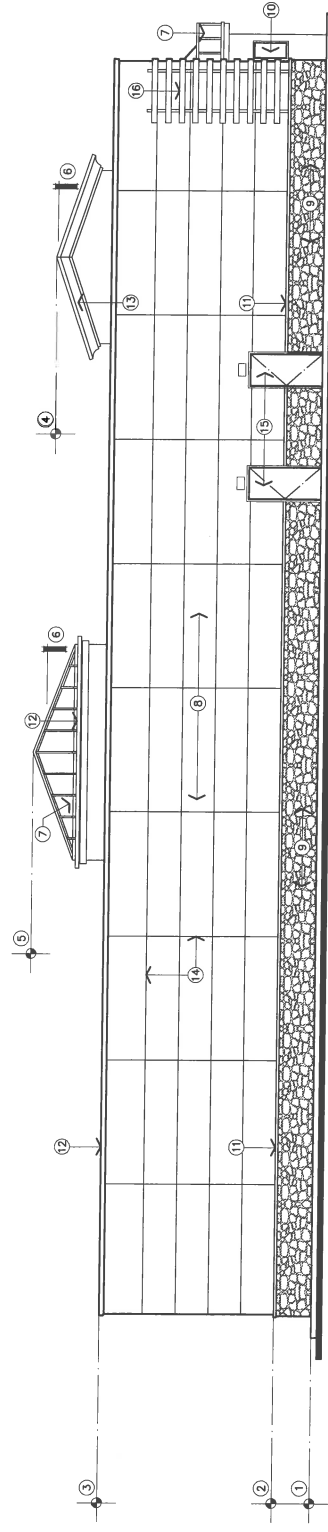
AS-BUILT

All drawings once written, modified, or corrected shall be rechecked against work of the architect and the architect shall not be held responsible for errors or omissions duplicated, unack or disclosed without the written consent of the architect.

Reference Name: _____

Sheet: **3/NP - 1'-0"**
Project Name: **CAMPUS PARKWAY**
City: **FRESNO, CALIFORNIA**
Print Number: **10/2/19**
File Date: **10/2/19**
Sheet Number: _____

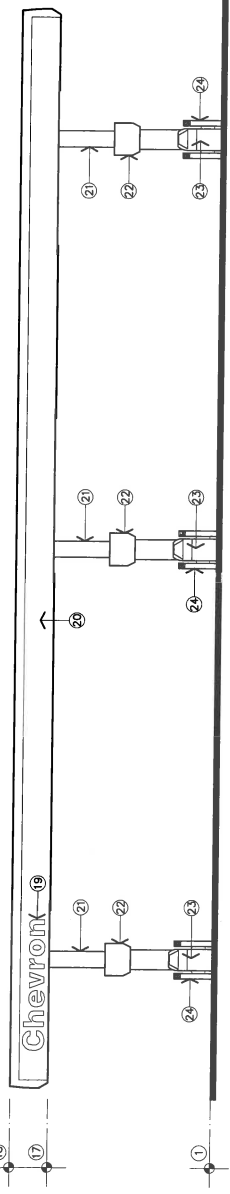
PP6



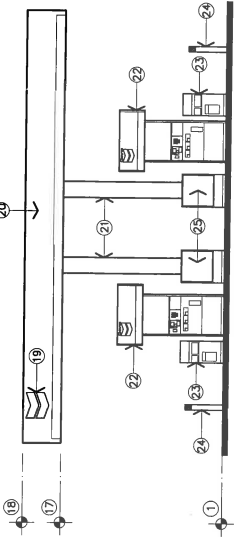
RETAIL PAD REAR ELEVATION

KEYNOTES

1	FINISHED FLOOR ELEVATION: +0'-0"
2	TOP OF MANHOLE: +3'-6"
3	TOP OF PARAPET ELEVATION: +16'-4"
4	TOP OF RIDGE ELEVATION: +24'-4"
5	TOP OF ROOF ELEVATION: +26'-2"
6	TYPICAL ROOF PITCH: 4:12
7	PRE-FINISHED STANDING SEAM METAL ROOFING OVER 3/4" ROOFING FELT OVER PLWOOD ROOF SHEATHING APPLIED PERPENDICULAR TO ROOF SLOPE. FINISH WITH ALUMINUM COATED GALVALUM METAL PANELS. RECENT RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
8	WALL CURB, INSULATION AND FINISH SYSTEM (LEFS) AS ACCORDANCE WITH THE CURB MANUFACTURER'S RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
9	WINDSTOPPING AND WEATHER BANDING SYSTEM (LEFS) AS ACCORDANCE WITH THE CURB MANUFACTURER'S RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
10	INSTALL OVER THE ENTIRE CURB WITH THE MANUFACTURER'S RECENT REQUIREMENTS AS APPROVED BY THE ARCHITECT / TYPICAL.
11	METAL DRIVE THROUGH WINDOW
12	MANHOLE THROUGH WINDOW
13	INSTALL MANHOLE THROUGH WINDOW
14	24 GAUGE GALVANIZED SHEET METAL COPING WITH 2" x 2 GUAGE FINISHED FROM TRIM WITH FIBERGLASS REINFORCING MESH AND DASH GROUT OVER SHEATHING AS NOTED / TYPICAL
15	INSTALL SINGLE LINE GALVANIZED SHEET METAL PLASTER EXPANSION JOINT AS NOTED / TYPICAL
16	FINISH TO MATCH ADJACENT WALL SURFACES. PAINT TO MATCH ADJACENT WALL SURFACES.
17	METAL FASTENERS TO MATCH ADJACENT WALL SURFACES. PAINT TO MATCH ADJACENT WALL SURFACES.
18	METAL FASTENERS TO MATCH ADJACENT WALL SURFACES. PAINT TO MATCH ADJACENT WALL SURFACES.
19	TOP OF CANOPY: +15'-0"
20	TOP OF CANOPY: +16'-0"
21	INSTALL UNFINISHED STAINLESS STEEL BARRIERS AT FUEL ISLANDS. COORDINATE WITH THE FUEL ISLAND PLANS AND THE FUEL EQUIPMENT SUPPLIER.
22	CHEVRON WAGE STANDARDS COORDINATE THE LOCATION(S) WITH THE TRUCK VALET PER EQUIPMENT VENDOR / TYPICAL
23	LOCATIONS WITH THE SITE PLAN, SHEET A-1 AND WITH THE FUEL CONCRETE FILLER STEEL BARRIERS AT FUEL ISLANDS. COORDINATE WITH THE SITE PLAN
24	LOCATIONS WITH THE FUEL ISLAND PLANS AND THE FUEL EQUIPMENT SUPPLIER.



FUEL ISLAND FRONT/REAR ELEVATION



FUEL ISLAND END ELEVATION

EXTERIOR ELEVATIONS

1,000-foot Radius from Sensitive Uses

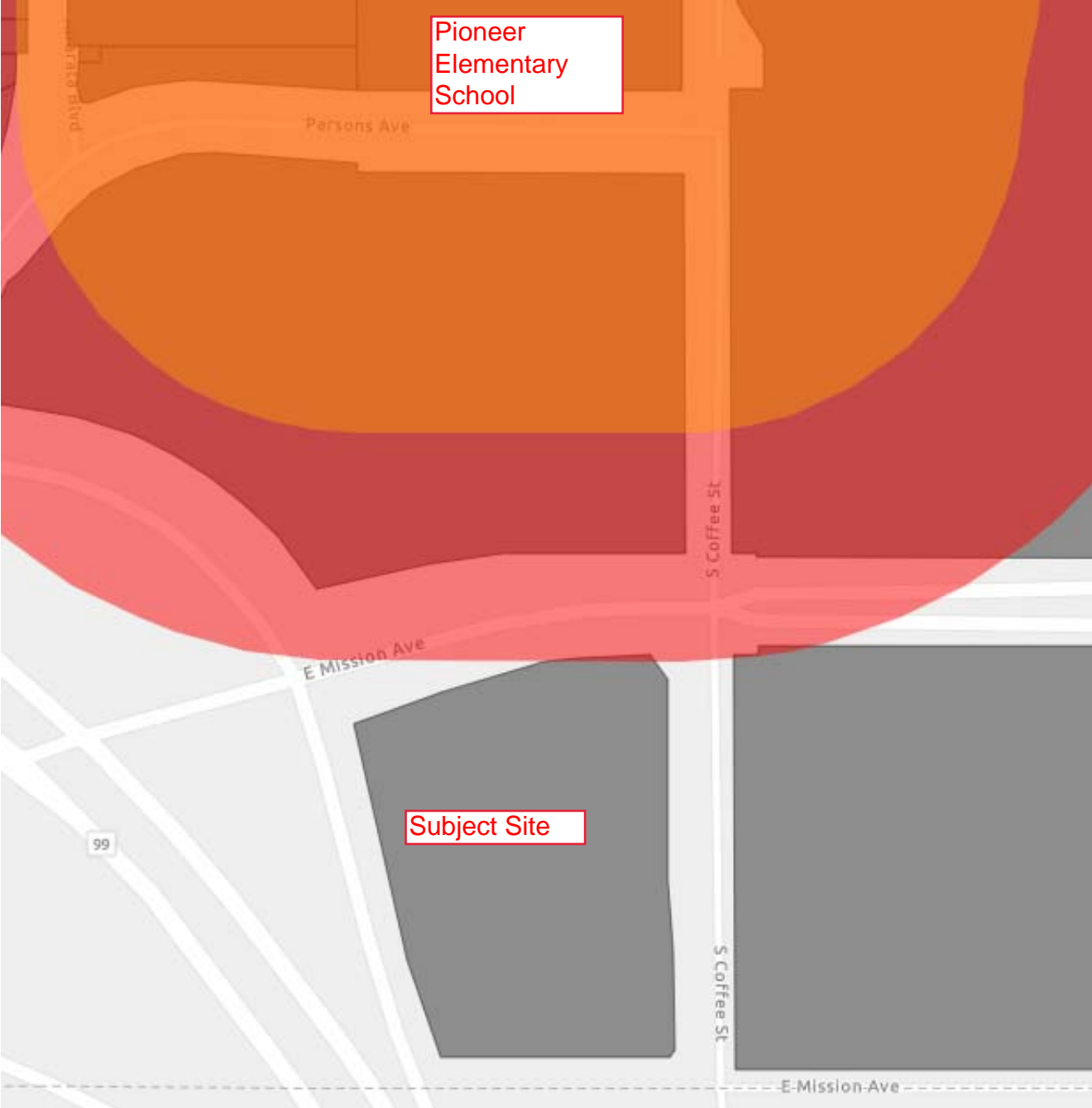


EXHIBIT C

**EXPANDED INITIAL STUDY #00-05
for
GENERAL PLAN AMENDMENT #00-01
FOR STEINER DEVELOPMENT**

Mitigation Measures

A. EARTH

- A-1 The Project applicants shall prepare grading plans for individual projects for review and approval by the City of Merced Inspection Services, Engineering, and Public Works Departments prior to approval of building permits. The grading plans shall include the nature and extent of work proposed, phasing, and minimize the effects of disruptions, displacement, compaction, and over-covering of soils.
- A-2 Prior to approval of a parcel map or conditional use permit, the City shall review plans for drainage and stormwater run-off control systems and their component facilities to ensure that these systems are non-erosive in design.
- A-3 Upon completion of construction, subsequent Projects shall re-vegetate all exposed soil surfaces within 30 days, or as otherwise approved by the City, to minimize potential topsoil erosion. Reasonable alternatives to re-vegetation may be employed, especially during peak high temperature periods, subject to the approval of the City.
- A-4 Projects under review shall be required to submit temporary erosion control plans for construction activities.
- A-5 Prior to the issuance of a building permit, the applicant shall design all structures according to the Uniform Building Code Seismic Section 3.
- A-6 Prior to issuance of building permits, the applicant shall retain a qualified geologist to conduct soil samples throughout the Project area to identify expansive soils, and those areas shall be identified on a map for the City.
- A-7 Building plans shall be reviewed by a registered engineer specializing in geo-technical assessments to ensure that the soils can support the load.

B. AIR

- B-1 All active portions of construction sites, earthen access roads, and material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice a day with complete coverage, preferably in the late morning and after work is done for the day. Where feasible, reclaimed water shall be used.
- B-2 All clearing, grading, earth moving, or excavation activities shall cease during periods of winds greater than 20 miles per hour averaged over one hour.
- B-3 All material transported off site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust.

(05/02/2001)

- B-4 The area disturbed by clearing, earth moving, or excavation activities shall be minimized at all times. This can be accomplished by mowing instead of disking for weed control and seeding and watering inactive portions of the construction site until grass is evident, if construction time frames warrant.
- B-5 Construction site vehicle speeds shall be limited to 15 miles per hour.
- B-6 If used, petroleum-based dust palliatives shall meet the road oil requirements of the District's rule regarding Cutback Asphalt Paving Materials.
- B-7 Streets adjacent to the Project site shall be swept as needed to remove silt and/or mud that may have accumulated from construction activities. The streets are required to be wet prior to or in conjunction with rotary sweeping.
- B-8 All internal combustion engine-driven equipment shall be properly maintained and well tuned according to the manufacturer's specifications.
- B-9 When reasonably available and economically feasible, diesel powered or electric equipment shall be utilized in lieu of gasoline powered engines.
- B-10 Construction activities shall minimize obstruction of through traffic lanes adjacent to the site and a flag person shall be retained to maintain safety adjacent to existing roadways.
- B-11 Prior to issuance of a grading permit, the project will be required to comply with District Regulation VIII. Specifically, the rules that apply to this project are: Rule 8010 (Administrative Requirements) and Rule 8020 (Construction, Demolition, Excavation, and Extraction Activities). Additional rules that may apply to this project depending on construction practices employed are: Rule 8030 (Handling and Storage of Bulk Materials), Rule 8060 (Paved and Unpaved Roads), and Rule 8070 (Parking , Shipping, Receiving, Transfer, Fueling, and Service Areas).
- B-12 If public transit is available in the Southeast Merced area, a public transit stop shall be located within safe walking distance from the Project site or included as part of the Project. The parking lot(s) shall be designed to provide maximum traffic flow, thus reducing the number of times necessary for a vehicle to stop and start again while in the parking lot. Adequate bicycle parking shall be provided for both patrons and employees.

C. WATER

- C-1 Prior to approval of parcel maps or conditional use permits, the applicant shall demonstrate to the City that storm drainage facilities are adequate to meet Project demands and that improvements are consistent with the Merced County Critical Area Flooding and Drainage Plan and any updates.
- C-2 Prior to approval of building permits, the applicants shall demonstrate to the City that temporary erosion control measures will be followed during construction.
- C-3 Prior to development, individual projects within Flood Zone "AO" will be required to comply with all pertinent provisions of the City's Flood Damage Prevention Ordinance (MMC 17.48) and all updates.

E. ANIMAL LIFE

- E-1 *The Initial Study and Environmental Assessment Mission Avenue Interchange and Route 99 Freeway Conversion in Merced* (Caltrans, October 2000) includes

“Mitigation Measures for the loss of the roosting and maternity roost habitat and impacts to the species” for one or more species of bats located in the abandoned grain silo in the Alfarata Ranch headquarters complex. In the event construction of the Project involves impacting the subject silo (i.e., precedes actions relating to construction of the pending Interchange that were to impact the silo and trigger the above Mitigation Measures), the Mitigation Measures described in the above document may need to be tied to this Project.

- E-2 Prior to approval of the first conditional use permit, the applicants shall submit a site-specific biological resource survey for special status species, prepared by a qualified biologist, to the City for review and possible mitigation. The survey shall include a review of existing literature relating to the occurrence and distribution of any special status species and habitats. The applicants shall consult with the U.S. Fish and Wildlife Department and/or California Department of Fish and Game to ensure adequacy and completeness. However, nothing in this condition shall be construed (expressly or implied) to provide or vest additional authority to U.S. Fish and Wildlife or the California Department of Fish and Game concerning the Project’s approval. If a master biological survey is prepared and approved by the City for the entire site, then no further assessments will be needed for individual projects within the site boundaries.

F. NOISE

- F-1 Grading and construction activity shall be limited to daylight hours (between 7 a.m. and 7 p.m.) in areas where noise sensitive receptors (i.e. Pioneer Elementary school and adjacent single-family development) are located.
- F-2 In noise sensitive areas, construction equipment, compressors, and generators shall be fitted with heavy duty mufflers specifically designed to reduce noise impacts.

G. LIGHT AND GLARE

- G-1 The applicants shall utilize lighting fixtures of minimal wattage necessary to provide adequate lighting for security, commercial operations, and circulation. Light spill shall be controlled by baffles, cut-off lenses, and fixture height necessary to minimize spill-over onto adjacent properties. Prior to building permit approvals, lighting plans shall be submitted for review by the City which specifies lighting type, location, and methods for minimizing spill.

J. RISK OF UPSET

- J-1 Prior to safety certification of the gasoline stations, the applicant will be required to install double-wall storage tanks, breakaway valves, an emergency shut-off device, a leak detection device, and other safety measures as required by federal, state, and local codes regarding gasoline storage facilities. In addition, the applicant must submit a hazardous material management plan to the City Fire Department, Environmental Health Division, and Public Works Department for evaluation and conformance with Federal, State, and local hazardous material requirements and standards.

M. TRANSPORTATION/CIRCULATION

- M-1 The Project shall pay all fees as required under the City's Public Facilities Impact Fees (Chapter 17.62 of the Merced Municipal Code) prior to building permit issuance.
- M-2 *"F-3 Mission Interchange Frontage Road"*:
- a) The alignment of the "F-3 Mission Interchange Frontage Road" through the Project site shall be generally as shown in Figure 4 of this Expanded Initial Study. All improvements, final design, and ultimate right-of-way are subject to, and contingent upon, City approval and permitting prior to construction. (The City will consult with Caltrans on relevant matters.) The final design shall be coordinated with the design of the section of the frontage road from Gerard Avenue to the western property line of the Project site.
 - b) The property owner has agreed to dedicate a 74-foot minimum right-of-way for the frontage road and to accept full responsibility for construction costs of the frontage road within the Project site. Preparation of final engineered design plans and construction cost estimates are the responsibility of the property owner, subject to City approval. (The City will consult with Caltrans on relevant matters.) Security shall be posted in a form, and in an amount, acceptable to the City Engineer and City Attorney for funding of the roadway improvements prior to issuance of the first building permit for the Project site. Additional right-of-way may be required (for turn lanes, turning radii, etc.), subject to agreement between the City, Caltrans, and the property owner.
 - c) The roadway shall be constructed by Caltrans as part of the Mission Interchange project or by the property owner whichever is sooner. It is the City's and the property owner's desire that construction of the frontage road shall occur in the early phases of interchange construction by Caltrans if possible. In any event, construction of the frontage road shall be completed no later than the completion of construction of the interchange and the property owner reserves the right to complete the improvements prior to Caltrans if he so chooses.
 - d) Construction of the frontage road through the Project site shall be to City standards and shall include full improvements as defined in MMC 17.58.070, including but not limited to, sidewalk, curb and gutter, park strip, street lights, etc. If the frontage road is constructed by Caltrans without these frontage improvements, the Property Owner shall be responsible for installing these improvements concurrent with development of the Project.
 - e) In no case shall the frontage road be constructed without the appropriate utilities, including but not limited to, water, sewer, electric, telephone, cable TV, and gas being installed first.
- M-3 *Traffic Signal at Coffee Street and Mission Avenue:* Owner shall provide financial security acceptable to the City equivalent to a 25 percent share of the cost of a traffic signal at the intersection of Coffee Street and Mission Avenue. Scope of improvements includes a traffic signal and related intersection

improvements to City standards and to the satisfaction of the City Engineer. The final cost and form of security shall be determined at the time of the first conditional use permit or other discretionary action.

- M-4 *Coffee Street:* The developer shall construct and dedicate half of the 74-foot right-of-way for Coffee Street (north and south of the Mission interchange) along the Project boundaries. In addition, the developer shall construct full frontage improvements on that half of Coffee adjacent to the Project boundaries. In addition, the developer shall construct two southbound travel lanes and one northbound travel lane and shoulder for Coffee. If the developer cannot acquire the necessary right-of-way for the northbound lane, the City may assist the developer in obtaining the necessary off-site right-of-way or easements at the developer's expense. The timing of construction of the improvements are to be determined at the conditional use permit stage. Any off-site construction is subject to reimbursement per Merced Municipal Code (MMC) section 17.58.
- M-5 *Coffee Street Cul-de-sac:* Coffee Street will become a cul-de-sac at some point south of Pioneer Elementary School to protect the school and Coffee Street residents from regional traffic impacts from the Mission Interchange. Non-vehicular (pedestrian/bicycle) access between Coffee Street and the Project site shall be maintained. It is expected that these improvements will be made by Caltrans in association with construction of the Interchange. However, the Project applicants will be responsible for integrating bicycle/pedestrian access to and within the Project site and for providing traffic barriers and a temporary vehicle turnaround if the frontage road is built prior to the Caltrans project. (Details to be worked out with City staff at the first conditional use permit stage.
- M-6 *Alfarata Blvd:* The applicant shall be responsible for extending Alfarata Blvd from Gerard Avenue to the frontage road. Timing of construction and level of improvements to be determined at the time of the first conditional use permit. If the developer cannot acquire the necessary right-of-way, the City may assist the developer in obtaining the necessary off-site right-of-way or easements at the developer's expense. These improvements shall be subject to reimbursement from adjacent property owners when development of those properties occur per MMC 17.58.
- M-7 *Access to Pluim Property and Driveway Locations:* Driveway access to the frontage road and Coffee Street are subject to City (in consultation with Caltrans if deemed relevant) review and approval with each conditional use permit. To the extent possible, driveway access should be shared between properties to minimize the number of curbcuts. Joint access and parking agreements shall be maintained. (Details to be addressed at the conditional use permit stage.) Street and/or driveway access to the Pluim property (APN #61-250-013) shall also be addressed at that time with the aim of establishing a 3-way intersection at the intersection of the frontage road and Coffee Street.

N. PUBLIC SERVICES

- N-1 Development of the Project site will be closely coordinated with the Merced City Fire Department, particularly in connection with the projected future location/construction of a new fire station in the immediate area and access to and

from the fire station site to the Project site and adjacent residential and commercial areas.

- N-2 Prior to the issuance of building permits, the applicant shall be responsible for the payment of school facility impact fees as adopted by the Weaver Union School District and Merced Union High School District.

P. UTILITIES

- P-1 Prior to approval of subsequent individual commercial projects, the City shall review the Project application to ensure that wastewater facilities are adequate to meet Project service demands and are consistent with wastewater master plans.
- P-2 Prior to approval of conditional use permits or parcel maps, the applicant shall demonstrate to the City that storm drainage facilities are adequate to meet Project demands and/or the applicants shall provide improvements, consistent with master plans, necessary to meet Project demands.

R. AESTHETICS

- R-1 All subsequent commercial development on the Project site will require conditional use permits. The Project shall be developed as a "Planned Development" with standards for landscaping, screening, buffering, compatible architecture, signing, etc. Particular emphasis shall be paid to the visual appearance along perimeter and interior roadways.

T. CULTURAL RESOURCES

- T-1 If evidence of archaeological artifacts is discovered during construction, all operations within an area at and adjacent to the discovered site shall halt until a qualified archaeologist determines the extent of significance of the site.
- T-2 On-site preservation of a resource is the preferred alternative. Preserving a cultural deposit maintains the artifacts in context and may prevent inadvertent discovery of, or damage to, human burials. Preservation may be accomplished through a number of means such as capping or covering the site with a layer of soil, fencing the site area, and/or incorporation of the resource in a park area.

APPLICABLE MITIGATION MEASURES QUOTED FROM THE GENERAL PLAN EIR:

Plant/Animal Life

- 3-a) When site-specific development proposals are submitted to the City for review and action, surveys should be conducted for special-status species prior to the disturbance of potentially suitable habitat. All surveys will be conducted in accordance with applicable state and federal guidelines.
- 3-b) Habitat losses for burrowing owls could be mitigated by preservation of open space and rangeland. When a development proposal is likely to disturb suitable burrowing owl habitat, the California Department of Fish and Game should be consulted.

Traffic/Circulation

- 7-a) Appropriate traffic studies shall be prepared for all development projects which can be expected to reduce a road segment or intersection levels of service below "D."
- 7-b) The City shall require all development proposals to contribute, based on their proportionate share of impact, to circulation system improvements necessary to maintain at least a level of service "D" on all road segments and intersections impacted by the development project.

Public Facilities/Services

- 8-d) Development projects will be required to pay public facilities impact fees as established by the City in accordance with the requirements of State law.

**CONDITIONS OF APPROVAL FOR
GENERAL PLAN AMENDMENT #00-01/ZONE CHANGE #370**

On June 6, 2001, the Merced City Planning Commission recommended (by a 7-0 vote):

- A) Approval of Environmental Review #00-05 (Mitigated Negative Declaration) as outlined in Expanded Initial Study #00-05 and subject to the Mitigation Measures as outlined in Attachment E and the Mitigation Monitoring Program as outlined in Appendix A of Expanded Initial Study #00-05;
- B) Approval of General Plan Amendment #00-01; and,
- C) Approval of Zone Change #370, subject to the following conditions:
 - *1) Approval of the General Plan Amendment/Zone Change is subject to the applicant's entering into a written (development) agreement that they agree to all the conditions and shall pay all City and school district fees, taxes, and/or assessments, in effect on the date of any subsequent subdivision and/or permit approval, any increase in those fees, taxes, or assessments, and any new fees, taxes, or assessments, which are in effect at the time the building permits are issued, which may include traffic impact fees, a Parsons Avenue impact fee, Mello-Roos, etc.; said agreement to be approved by the City Council prior to the adoption of the ordinance, resolution, or minute action.
 - *2) The proposed project shall comply with all standard Municipal Code and Subdivision Map Act requirements as applied by the Engineering Department.
 - *3) All other applicable codes, ordinances, policies, etc. adopted by the City of Merced shall apply.
 - 4) "No parking" shall be posted on both sides the frontage road and Coffee Street within and adjacent to the Project boundaries. (Details to be worked out with City staff prior to construction.)
 - 5) A six-foot masonry wall and landscaping shall be installed along the north side of the frontage road for that portion of the roadway adjacent to Pioneer Elementary School. (Details and timing to be worked out with City staff prior to approval of the first conditional use permit.)

**Steiner Development
 Mitigation Monitoring Checklist**

Project Name: _____ File Number: _____
 Approval Date: _____ Project Location: _____
 Brief Project Description: _____

The following environmental mitigation measures were incorporated into the Conditions of Approval for this project in order to mitigate identified environmental impacts to a level of insignificance. A completed and signed checklist for each mitigation measure indicates that this mitigation measure has been complied with and implemented, and fulfills the City of Merced's Mitigation Monitoring Requirements (MMC 19.28) with respect to Assembly Bill 3180 (Public Resources Code Section 21081.6).

<i>Mitigation Measure</i>	<i>Timing</i>	<i>Agency or Department Consultation</i>	<i>City Verification (date and initials)</i>
A. EARTH			
A-1 The Project applicants shall prepare grading plans for individual projects for review and approval by the City of Merced Inspection Services, Engineering, and Public Works Departments prior to approval of building permits. The grading plans shall include the nature and extent of work proposed, phasing, and minimize the effects of disruptions, displacement, compaction, and over-covering of soils.	Building Permits	City Inspection Services, Engineering, & Public Works	
A-2 Prior to approval of a parcel map or conditional use permit, the City shall review plans for drainage and stormwater run-off control systems and their component facilities to ensure that these systems are non-erosive in design.	Parcel Map or Conditional Use Permit	City Engineering & Public Works	
A-3 Upon completion of construction, subsequent Projects shall re-vegetate all exposed soil surfaces within 30 days, or as otherwise approved by the City, to minimize potential topsoil erosion. Reasonable alternatives to re-vegetation may be employed, especially during peak high temperature periods, subject to the approval of the City.	Certificate of Occupancy	City Inspection Services	

In instances where mitigation requires on-going monitoring, the Mitigation Monitoring Checklist will be used until monitoring is no longer necessary. The Development Services Department will be required to file periodic reports on how the implementation of various mitigation measures is progressing or is being maintained. Department staff may be required to conduct periodic inspections to assure compliance. In some instances, outside agencies and/or consultants may be required to conduct necessary periodic inspections as part of the mitigation monitoring program. Fees may be imposed per MMC 19.28.070 for the cost of implementing the monitoring program.

GENERAL PLAN MITIGATION MEASURES

As a second tier environmental document, the *Expanded Initial Study for General Plan Amendment #00-01 for Steiner Development* incorporates some mitigation measures adopted as part of the *Merced Vision 2015 General Plan Program Environmental Impact Report* (SCH# 95082050), as mitigation for potential impacts of the Project. Therefore, following the Steiner Development Mitigation Monitoring Checklist (starting on page A-15) is a list of these relevant General Plan mitigation measures along with the General Plan Mitigation Monitoring Checklists (Forms A and B) to be used to verify that the General Plan mitigation measures have been met.

NONCOMPLIANCE COMPLAINTS

Any person or agency may file a complaint asserting noncompliance with the mitigation measures associated with the project. The complaint shall be directed to the City Planner in written form providing specific information on the asserted violation. The City Planner shall cause an investigation and determine the validity of the complaint. If noncompliance with a mitigation measure has occurred, the City Planner shall cause appropriate actions to remedy any violation. The complainant shall receive written confirmation indicating the results of the investigation or the final action corresponding to the particular noncompliance issue. Merced Municipal Code (MMC) Sections 19.28.080 and 19.28.090 outline the criminal penalties and civil and administrative remedies which may be incurred in the event of noncompliance. MMC 19.28.100 spells out the appeals procedures.

MONITORING MATRIX

The following pages provide a series of tables identifying the mitigation measures proposed specifically for the Steiner Development. The columns within the tables are defined as follows:

- | | |
|--|---|
| Mitigation Measure: | Summarizes the Mitigation Measure (referenced by number) identified in Expanded Initial Study #00-05. |
| Timing: | Identifies at what point in time or phase of the project that the mitigation measure will be completed. |
| Agency/Department Consultation: | This column references any public agency or City department with which coordination is required to satisfy the identified mitigation. |
| Verification: | These columns will be initialed and dated by the individual designated to verify adherence to the project specific mitigation. |

Mitigation Measure	Timing	Agency or Department Consultation	City Verification (date and initials)
A-4 Projects under review shall be required to submit temporary erosion control plans for construction activities.	Building Permits	City Inspection Services	
A-5 Prior to the issuance of a building permit, the applicant shall design all structures according to the Uniform Building Code Seismic Section 3.	Building permits	City Inspection Services	
A-6 Prior to the issuance of building permits, the applicant shall retain a qualified geologist to conduct soil samples throughout the Project area to identify expansive soils, and those areas shall be identified on a map for the City.	Building Permits	City Inspection Services	
A-7 Building plans shall be reviewed by a registered engineer specializing in geo-technical assessments to ensure that the soils can support the load.	Building Permits	City Inspection Services, Engineering, & Public Works	
B. AIR			
B-1 All active portions of construction sites, earthen access roads, and material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice a day with complete coverage, preferably in the late morning and after work is done for the day. Where feasible, reclaimed water shall be used.	Building Permits	City Inspection Services	
B-2 All clearing, grading, earth moving, or excavation activities shall cease during periods of winds greater than 20 miles per hour averaged over one hour.	Building Permits	City Inspection Services	
B-3 All material transported off site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust.	Building Permits	City Inspection Services	
B-4 The area disturbed by clearing, earth moving, or excavation activities shall be minimized at all times. This can be accomplished by mowing instead of disking for weed control and seeding and watering inactive portions of the construction site until grass is evident, if construction time frames warrant.	Building Permits	City Inspection Services	

Mitigation Measure	Timing	Agency or Department Consultation	City Verification (date and initials)
B-5 Construction site vehicle speeds shall be limited to 15 miles per hour.	Building Permits	City Inspection Services	
B-6 If used, petroleum-based dust palliatives shall meet the road oil requirements of the District's rule regarding Cutback Asphalt Paving Materials.	Building Permits	SJVUAPCD	
B-7 Streets adjacent to the Project site shall be swept as needed to remove silt and/or mud that may have accumulated from construction activities. The streets are required to be wet prior to or in conjunction with rotary sweeping.	Building Permits	City Inspection Services	
B-8 All internal combustion engine-driven equipment shall be properly maintained and well tuned according to the manufacturer's specifications.	Building Permits	City Inspection Services	
B-9 When reasonably available and economically feasible, diesel powered or electric equipment shall be utilized in lieu of gasoline powered engines.	Building Permits	City Inspection Services	
B-10 Construction activities shall minimize obstruction of through traffic lanes adjacent to the site and a flag person shall be retained to maintain safety adjacent to existing roadways.	Building Permits	City Inspection Services	
B-11 Prior to issuance of a building permit, the project will be required to comply with District Regulation VIII. Specifically, the rules that apply to this project are: Rule 8010 (Administrative Requirements) and Rule 8020 (Construction, Demolition, Excavation, and Extraction Activities). Additional rules that may apply to this project depending on construction practices employed are: Rule 8030 (Handling and Storage of Bulk Materials), Rule 8060 (Paved and Unpaved Roads), and Rule 8070 (Parking, Shipping, Receiving, Transfer, Fueling, and Service Areas).	Building Permits	SJVUAPCD	

Mitigation Measure	Timing	Agency or Department Consultation	City Verification (date and initials)
<p>B-12 If public transit is available in the Southeast Merced area, a public transit stop shall be located within safe walking distance from the Project site or included as part of the Project. The parking lot(s) shall be designed to provide maximum traffic flow, thus reducing the number of times necessary for a vehicle to stop and start again while in the parking lot. Adequate bicycle parking shall be provided for both patrons and employees.</p>	<p>Conditional Use Permits</p>	<p>City Planning and Merced County Transit Service ("The Bus")</p>	
<p>C. WATER</p>			
<p>C-1 Prior to approval of parcel maps or conditional use permits, the applicant shall demonstrate to the City that storm drainage facilities are adequate to meet Project demands and that improvements are consistent with the <i>Merced County Critical Area Flooding and Drainage Plan</i> and any updates.</p>	<p>Parcel Maps or Conditional Use Permits</p>	<p>City Engineering & Public Works</p>	
<p>C-2 Prior to approval of building permits, the applicants shall demonstrate to the City that temporary erosion control measures will be followed during construction.</p>	<p>Building Permits</p>	<p>City Inspection Services</p>	
<p>C-3 Prior to development, individual projects within Flood Zone "AO" will be required to comply with all pertinent provisions of the City's Flood Damage Prevention Ordinance (MMC 17.48) and all updates..</p>	<p>Building Permits</p>	<p>City Inspection Services & Engineering</p>	

<i>Mitigation Measure</i>	<i>Timing</i>	<i>Agency or Department Consultation</i>	<i>City Verification (date and initials)</i>
<p>E. ANIMAL LIFE</p>			
<p>E-1 <i>The Initial Study and Environmental Assessment Mission Avenue Interchange and Route 99 Freeway Conversion in Merced (Caltrans, October 2000) includes "Mitigation Measures for the loss of the roosting and maternity roost habitat and impacts to the species" for one or more species of bats located in the abandoned grain silo in the Alfarata Ranch headquarters complex. In the event construction of the Project involves impacting the subject silo (i.e., precedes actions relating to construction of the pending Interchange that were to impact the silo and trigger the above Mitigation Measures), the Mitigation Measures described in the above document may need to be tied to this Project.</i></p>	<p><i>Building Permits</i></p>	<p><i>City Planning and Caltrans</i></p>	
<p>E-2 <i>Prior to approval of first conditional use permit, the applicants shall submit a site-specific biological resource survey for special status species, prepared by a qualified biologist, to the City for review and possible mitigation. The survey shall include a review of existing literature relating to the occurrence and distribution of any special status species and habitats. The applicants shall consult with the U.S. Fish and Wildlife Department and/or California Department of Fish and Game to ensure adequacy and completeness. However, nothing in this condition shall be construed (expressly or implied) to provide or vest additional authority to U.S. Fish and Wildlife or the California Department of Fish and Game concerning the Project's approval. If a master biological survey is prepared and approved by the City for the entire site, then no further assessments will be needed for individual projects within the site boundaries.</i></p>	<p><i>Tentative Map</i></p>	<p><i>City Planning CA Dept of Fish & Game</i></p>	

Mitigation Measure	Timing	Agency or Department Consultation	City Verification (date and initials)
F. NOISE			
<p>F-1 Grading and construction activity shall be limited to daylight hours (between 7 a.m. and 7 p.m.) in areas where noise sensitive receptors (i.e. Pioneer Elementary school and adjacent single-family development) are located.</p>	<p>Building Permits</p>	<p>City Inspection Services</p>	
<p>F-2 In noise sensitive areas, construction equipment, compressors, and generators shall be fitted with heavy duty mufflers specifically designed to reduce noise impacts.</p>	<p>Building Permits</p>	<p>City Inspection Services</p>	
G. LIGHT AND GLARE			
<p>G-1 The applicants shall utilize lighting fixtures of minimal wattage necessary to provide adequate lighting for security, commercial operations, and circulation. Light spill shall be controlled by baffles, cut-off lenses, and fixture height necessary to minimize spill-over onto adjacent properties. Prior to building permit approvals, lighting plans shall be submitted for review by the City which specifies lighting type, location, and methods for minimizing spill.</p>	<p>Building Permits</p>	<p>City Planning</p>	
J. RISK OF UPSET			
<p>J-1 Prior to safety certification of the gasoline stations, the applicant will be required to install double-wall storage tanks, breakaway valves, an emergency shut-off device, a leak detection device, and other safety measures as required by federal, state, and local codes regarding gasoline storage facilities. In addition, the applicant must submit a hazardous material management plan to the City Fire Dept, Environmental Health Division, and Public Works Dept for evaluation and conformance with Federal, State, and local hazardous material requirements and standards.</p>	<p>Building Permits</p>	<p>Merced County Environmental Health; City Fire, Environmental Health, & Public Works</p>	

Mitigation Measure	Timing	Agency or Department Consultation	City Verification (date and initials)
<p>M. TRANSPORTATION /CIRCULATION</p>			
<p>M-1 The Project shall pay all fees as required under the City's Public Facilities Impact Fees (Chapter 17.62 of the Merced Municipal Code) prior to building permit issuance.</p>	<p>Certificate of Occupancy</p>	<p>City Planning & City Engineer</p>	
<p>M-2 "F-3 Mission Interchange Frontage Road":</p> <p>a) The alignment of the "F-3 Mission Interchange Frontage Road" through the Project site shall be generally as shown in Figure 4 of this Expanded Initial Study. All improvements, final design, and ultimate right-of-way are subject to, and contingent upon, Caltrans and City approval and permitting prior to construction. The final design shall be coordinated with the design of the section of the frontage road from Gerard Avenue to the western property line of the Project site.</p> <p>b) The property owner has agreed to dedicate a 74-foot minimum right-of-way for the frontage road and to accept full responsibility for construction costs of the frontage road within the Project site. Preparation of final engineered design plans and construction cost estimates are the responsibility of the property owner, subject to Caltrans and City approval. Security shall be posted in a form, and in an amount, acceptable to the City Engineer and City Attorney for funding of the roadway improvements prior to issuance of the first building permit for the Project site. Additional right-of-way may be required (for turn lanes, turning radii, etc.), subject to agreement between the City, Caltrans, and the property owner.</p>	<p>Parcel Maps/ Conditional Use Permits</p>	<p>City Planning & Engineering</p>	

Mitigation Measure	Timing	Agency or Department Consultation	City Verification (date and initials)
<p>c) The roadway shall be constructed by Caltrans as part of the Mission Interchange project or by the property owner whichever is sooner. It is the City's and the property owner's desire that construction of the frontage road shall occur in the early phases of interchange construction by Caltrans if possible. In any event, construction of the frontage road shall be completed no later than the completion of construction of the interchange and the property owner reserves the right to complete the improvements prior to Caltrans if he so chooses.</p> <p>d) Construction of the frontage road through the Project site shall be to City standards and shall include full improvements as defined in MMC 17.58.070, including but not limited to, sidewalk, curb and gutter, park strip, street lights, etc. If the frontage road is constructed by Caltrans without these frontage improvements, the Property Owner shall be responsible for installing these improvements concurrent with development of the Project.</p>			
<p>M-3 <i>Traffic Signal at Coffee Street and Mission Avenue:</i> Owner shall provide financial security acceptable to the City equivalent to a 25 percent share of the cost of a traffic signal at the intersection of Coffee Street and Mission Avenue. Scope of improvements includes a traffic signal and related intersection improvements to City standards and to the satisfaction of the City Engineer. The final cost and form of security shall be determined at the time of the first conditional use permit or other discretionary action.</p>	<p><i>Parcel Maps/ Conditional Use Permits</i></p>	<p><i>City Planning & Engineering</i></p>	

Mitigation Measure	Timing	Agency or Department Consultation	City Verification (date and initials)
<p>M-4 <i>Coffee Street:</i> The developer shall construct and dedicate half of the 74-foot right-of-way for Coffee Street (north and south of the Mission interchange) along the Project boundaries. The developer shall construct full frontage improvements on Coffee and at least one travel lane in each direction. The timing of construction of the improvements are to be determined at the conditional use permit stage. Any off-site construction is subject to reimbursement per Merced Municipal Code (MMC) section 17.58.</p>	<p>Parcel Maps/ Conditional Use Permits</p>	<p>City Planning & Engineering</p>	
<p>M-5 <i>Coffee Street Cul-de-sac:</i> Coffee Street will become a cul-de-sac at some point south of Pioneer Elementary School to protect the school and Coffee Street residents from regional traffic impacts from the Mission Interchange. Non-vehicular (pedestrian/bicycle) access between Coffee Street and the Project site shall be maintained. It is expected that these improvements will be made by Caltrans in association with construction of the Interchange. However, the Project applicants will be responsible for integrating bicycle/pedestrian access to and within the Project site.</p>	<p>Parcel Maps/ Conditional Use Permits</p>	<p>City Planning & Engineering</p>	
<p>M-6 <i>Alfarata Blvd:</i> The applicant shall be responsible for extending Alfarata Blvd from its existing southern extension (approximately 700 feet south of Gerard Avenue) to the frontage road concurrent with development of the first project on the Project site. If the developer cannot acquire the necessary right-of-way, the City may assist the developer in obtaining the necessary off-site right-of-way or easements at the developer's expense. These improvements shall be subject to reimbursement from adjacent property owners when development of those properties occur per MMC 17.58.</p>	<p>Parcel Maps/ Conditional Use Permits</p>	<p>City Planning & Engineering</p>	

<i>Mitigation Measure</i>	<i>Timing</i>	<i>Agency or Department Consultation</i>	<i>City Verification (date and initials)</i>
<p>M-7 Access to Plum Property and Driveway Locations: Driveway access to the frontage road and Coffee Street are subject to City (and/or Caltrans) review and approval with each conditional use permit. To the extent possible, driveway access should be shared between properties to minimize the number of curbcuts. Joint access and parking agreements shall be maintained. (Details to be addressed at the conditional use permit stage.) Street and/or driveway access to the Plum property (APN #61-250-013) shall also be addressed at that time with the aim of establishing a 3-way intersection at the intersection of the frontage road and Coffee Street.</p>	<p>Parcel Maps/ Conditional Use Permits</p>	<p>City Planning & Engineering</p>	
<p>N. PUBLIC SERVICES</p>			
<p>N-1 Development of the Project site will be closely coordinated with the Merced City Fire Department, particularly in connection with the projected future location/construction of a new fire station in the immediate area and access to and from the fire station site to the Project site and adjacent residential and commercial areas.</p>	<p>Conditional Use Permits</p>	<p>City Planning and City Fire Dept</p>	
<p>N-2 Prior to the issuance of building permits, the applicant shall be responsible for the payment of school facility impact fees as adopted by the Weaver Union School District and Merced Union High School District.</p>	<p>Building Permits</p>	<p>Weaver School District and MUHSD</p>	
<p>P. UTILITIES</p>			
<p>P-1 Prior to approval of subsequent individual commercial projects, the City shall review the Project application to ensure that wastewater facilities are adequate to meet Project service demands and are consistent with wastewater master plans.</p>	<p>Parcel Maps/ Building Permits</p>	<p>City Engineering & Public Works</p>	

Mitigation Measure	Timing	Agency or Department Consultation	City Verification (date and initials)
<p>P-2 Prior to approval of conditional use permits or parcel maps, the applicant shall demonstrate to the City that storm drainage facilities are adequate to meet Project demands and/or the applicants shall provide improvements, consistent with master plans, necessary to meet Project demands.</p>	<p>Parcel Maps/ Building Permits</p>	<p>City Engineering & Public Works</p>	
<p>R AESTHETICS</p>			
<p>R-1 All subsequent commercial development on the Project site will require conditional use permits. The Project shall be developed as a "Planned Development" with standards for landscaping, screening, buffering, compatible architecture, signing, etc. Particular emphasis shall be paid to the visual appearance along perimeter and interior roadways.</p>	<p>Conditional Use Permits</p>	<p>City Planning</p>	
<p>T. CULTURAL RESOURCES</p>			
<p>T-1 If evidence of archaeological artifacts is discovered during construction, all operations within an area at and adjacent to the discovered site shall halt until a qualified archaeologist determines the extent of significance of the site.</p>	<p>Building Permits</p>	<p>City Inspection Services</p>	
<p>T-2 On-site preservation of a resource is the preferred alternative. Preserving a cultural deposit maintains the artifacts in context and may prevent inadvertent discovery of, or damage to, human burials. Preservation may be accomplished through a number of means such as capping or covering the site with a layer of soil, fencing the site area, and/or incorporation of the resource in a park area.</p>	<p>Building Permits</p>	<p>City Inspection Services</p>	

Copies of This Form Distributed To:

____ City Council _____ City Manager _____ City Planner _____ Public Works Dir. _____ City Engineer _____ Fire Chief
____ Police Chief _____ Leisure Serv. Dir. _____ County of Merced (Dept. _____) _____ Other (List _____)
____ Responsible Agency: (List _____)

I hereby certify that I have inspected the project site and that the above information is true to the best of my knowledge.

Name: (Print) _____ Representing: (Agency/Firm) _____

Signature: _____ Date: _____

APPLICABLE MITIGATION MEASURES OF THE GENERAL PLAN EIR—STEINER DEVELOPMENT

<i>Mitigation Measure</i>	<i>Timing</i>	<i>Agency or Department Consultation</i>	<i>City Verification (date and initials)</i>
<p>Plant/Animal Life</p>			
<p>3-a) When site-specific development proposals are submitted to the City for review and action, surveys should be conducted for special-status species prior to the disturbance of potentially suitable habitat. All surveys will be conducted in accordance with applicable state and federal guidelines.</p>	<p>Conditional Use Permits</p>	<p>City Planning</p>	
<p>3-b) Habitat losses for burrowing owls could be mitigated by preservation of open space and rangeland. When a development proposal is likely to disturb suitable burrowing owl habitat, the California Department of Fish and Game should be consulted.</p>	<p>Conditional Use Permits</p>	<p>City Planning</p>	
<p>Traffic/Circulation</p>			
<p>7-a) Appropriate traffic studies shall be prepared for all development projects which can be expected to reduce a road segment or intersection levels of service below "D."</p>		<p>City Planning</p>	
<p>7-b) The City shall require all development proposals to contribute, based on their proportionate share of impact, to circulation system improvements necessary to maintain at least a level of service "D" on all road segments and intersections impacted by the development project.</p>	<p>Certificate of Occupancy</p>	<p>City Planning</p>	
<p>Public Facilities/Services</p>			
<p>8-d) Development projects will be required to pay public facilities impact fees as established by the City in accordance with the requirements of State law.</p>	<p>Certificate of Occupancy</p>	<p>City Planning</p>	

**Merced Vision 2015 General Plan
 Environmental Mitigation Checklist Form A**

Project Name: _____ File Number: _____ Conditional Neg. Dec. _____
 Approval Date: _____ EIR _____

The following environmental mitigation measures were incorporated into the Conditions of Approval for this project in order to mitigate identified environmental impacts to a level of insignificance. A completed and signed checklist for each mitigation measure indicates that this mitigation measure has been complied with and implemented, and fulfills the City of Merced's Mitigation Monitoring requirements with respect to Assembly Bill 3180 (Public Resources Code Section 21081.6)

Mitigation Measure	Type	Monitoring Dept.	Shown on Plans	Verified Implementation	Remarks
1.					
2.					
3.					
4.					
5.					
6.					
7.					
8.					
9.					
10.					
11.					
12.					
13.					
14.					

(Add additional Measures as Necessary)

Explanation of Headings:

- Type: Project, ongoing, cumulative.
- Monitoring Dept. Department or Agency responsible for monitoring a particular mitigation measure.
- Shown on Plans: When mitigation measure is shown on plans, this column will be initialed and dated.
- Verified Implementation: When a mitigation measure has been implemented, this column will be initialed and dated.
- Remarks: Area for describing status of ongoing mitigation measure, or for other information.

**Merced Vision 2015 General Plan
 Mitigation Measure Monitoring Checklist--Form B**

Monitoring Phase: Pre-Construction Construction

Project File Number: _____

Project Name: _____

Brief Project Description: _____

Project Location: _____

Requirement Met:			Description of Mitigation Measures
Date	Yes	No	
_____	_____	_____	1. _____
_____	_____	_____	2. _____
_____	_____	_____	3. _____
_____	_____	_____	4. _____
_____	_____	_____	5. _____

Requirement On-Going:			Description of Mitigation Measures
Date	Yes	No	
_____	_____	_____	1. _____
_____	_____	_____	2. _____
_____	_____	_____	3. _____
_____	_____	_____	4. _____
_____	_____	_____	5. _____

Trustee Agency	Date	Yes	No
1. _____	_____	_____	_____
2. _____	_____	_____	_____
3. _____	_____	_____	_____
4. _____	_____	_____	_____

Copies of This Form Distributed To:

City Council City Manager Planning Dir. Public Works Dir.
 City Engineer Fire Chief Police Chief Leisure Services Dir.
 County of Merced (Dept. _____) Other (List _____)
 Responsible Agency: (List _____)

I hereby certify that I have inspected the project site and that the above information is true to the best of my knowledge.

Name: (Print) _____

Representing: (Agency/Firm) _____

Signature: _____

Date: _____

Subsequent EIR/ND Section 15162 Findings
The California Environmental Quality Act
(CEQA) Section 15162 Findings:

Project: Site Plan Review #439 – Environmental Review #19-13

Assessor Parcel Number or Location: Assessor’s Parcel Number (APN): 061-250-084

Previous Initial Study/EIR Reference: The site was previously reviewed through Environmental Review/Expanded Initial Study #00-05 for Zone Change #370/General Plan Amendment #00-01

Original Project Date: The Expanded Initial Study was approved on June 11, 2001, by the Merced City Council.

Section A--Previous Studies

1. Substantial changes are proposed in the project that will require major revisions of the previous project EIR or Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects?

Yes	No
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comment/Finding:

There have been no changes to the project that was evaluated under the certified EIR. Thus, there is no need for revisions to the Project EIR due to new environmental effects or increase in the severity of previously identified effects.

2. Substantial changes have occurred with respect to the circumstances under which the project is undertaken that will require major revisions of the previous EIR or Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects?

Yes	No
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comment/Finding:

There have been no changes in the circumstances under which the project is undertaken that would require major revisions in the previous Environmental Impact Report. There are no new significant environmental effects of substantial increases in the severity of previously identified environmental effects.

3. New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the Negative Declaration

Yes	No
<input type="checkbox"/>	<input checked="" type="checkbox"/>

was adopted, has been revealed? (If “Yes” is checked, go to Section “B” below)

Comment/Finding:

There is no new information of substantial importance, that was not known and could not have been known with the reasonable diligence at the time the previous Initial Study was adopted.

Section B--New Information

A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration.

Yes	No
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comment/Finding:

The project will not any significant effects not discussed in the previous EIR.

B) Significant effects previously examined will be substantially more severe than shown in the previous EIR;

Yes	No
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comment/Finding:

No significant effects previously examined will be substantially more severe than shown in the previous EIR.

C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative.

Yes	No
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comment/Finding:

No new information of substantial importance has become available since certification of the EIR. The EIR assessed the impacts of the widened roadway; the design of the current Project is the same as described in the EIR.

D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative.

Yes	No
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comment/Finding: As indicated in C) directly above, this situation does not exist.

On the basis of this evaluation, in accordance with the requirements of Section 15162 of the CEQA Guidelines:

Subsequent EIR/ND Section 15162 Findings

July 18, 2019

Page 3 of 3

- | | |
|-------------------------------------|--|
| <input type="checkbox"/> | 1. It is found that subsequent negative declaration will need to be prepared. |
| <input type="checkbox"/> | 2. It is found that an addendum Negative Declaration will need to be prepared. |
| <input type="checkbox"/> | 3. That a subsequent EIR will need to be prepared. |
| <input checked="" type="checkbox"/> | 4. No further documentation is required. |

Date: July 11, 2019

Prepared By:



Francisco Mendoza-Gonzalez,
Associate Planner

CITY OF MERCED
SITE PLAN REVIEW COMMITTEE
RESOLUTION #441

<u>James Kinney</u> APPLICANT	<u>Add second queueing line and install shade canopies for existing car wash.</u> PROJECT
<u>222 E. 5th Street</u> ADDRESS	<u>1800 West Olive Avenue</u> PROJECT SITE
<u>Tucson, AZ 85705</u> CITY/STATE/ZIP	<u>058-220-027</u> APN
<u>(520) 241-3688</u> PHONE	<u>Planned Development (P-D) #16</u> ZONING

In accordance with Chapter 20.68 of the Merced City Zoning Ordinance, the Site Plan Review Committee reviewed and approved Site Plan Application #441 on July 18, 2019, submitted by James Kinney, on behalf of Nation Retail Properties, LP, property owner. The applicant is requesting approval to add a second queueing line and install shade canopies with payment islands on an existing car wash located at 1800 West Olive Avenue within Planned Development (P-D) #16. Said property being described as a portion of Lot 2 as described as shown on the map entitled "Parcel Map for Norm Porges," filed August 13, 2001, Volume 88, Page 47 of Merced County Records, also known as Assessor's Parcel Number (APN) 058-220-027.

WHEREAS, the proposal is exempt from the California Environmental Quality Act (CEQA), and is in accordance with Section 15301 (Exhibit D); and,

WHEREAS, the Merced City Site Plan Review Committee makes the following Findings:

- A) The proposal complies with the City of Merced Zoning designation of Planned Development (P-D) #16 and the General Plan designation of Regional/Community Commercial (RC).
- B) The Site Plan Review Committee recognizes the proposed design is an effort to alleviate the stacking that occurs on Loughborough Drive due to queueing for the car wash.
- C) The proposed site plan modifications include removing 6 vacuum stalls on the eastern portion of the parcel to create space for a second queueing line. In addition, a 100-square-foot metal canopy with a payment equipment island would be installed for each queueing line.
- D) The applicant is not proposing to make any modifications to the interior or exterior of the existing building.

- E) The Zoning Ordinance does not provide parking requirements for a car wash. However, because this is not a self-serve car wash and there would be employees at the site, parking spaces are needed for the employees. Staff has traditionally required one parking space for every employee working during the largest shift. Based on the four employees working during the largest shift, Prime Shine Car Wash is required to have a minimum of four parking spaces. Prime Shine Car Wash exceeds this requirement by providing 9 parking spaces. The vacuum parking stalls are not required parking, but they may be converted into employee parking stalls in the future to comply with parking requirements if necessary.

NOW, THEREFORE, BE IT RESOLVED that the Merced City Site Plan Review Committee does approve Site Plan Application #441 subject to the following conditions:

- 1) The site shall be constructed as shown on Exhibit B (site plan), and Exhibit C (elevations) except as modified by the conditions of approval within this resolution.
- 2) All conditions contained in Site Plan Review #79-1 – Amended (“Standard Conditions for Site Plan Review Application”) shall apply.
- 3) All other applicable codes, ordinances, policies, etc., adopted by the City of Merced shall apply, including, but not limited to, the California Building Code and Fire Codes.
- 4) The developer/applicant shall indemnify, protect, defend (with counsel selected by the City), and hold harmless the City, and any agency or instrumentality thereof, and any officers, officials, employees, or agents thereof, from any and all claims, actions, suits, proceedings, or judgments against the City, or any agency or instrumentality thereof, and any officers, officials, employees, or agents thereof to attack, set aside, void, or annul, an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board, or legislative body, including actions approved by the voters of the City, concerning the project and the approvals granted herein. Furthermore, developer/applicant shall indemnify, protect, defend, and hold harmless the City, or any agency or instrumentality thereof, against any and all claims, actions, suits, proceedings, or judgments against any governmental entity in which developer/applicant’s project is subject to that other governmental entity’s approval and a condition of such approval is that the City indemnify and defend (with counsel selected by the City) such governmental entity. City shall promptly notify the developer/applicant of any claim, action, or proceeding. City shall further cooperate fully in the defense of the action. Should the City fail to either promptly notify or cooperate fully, the developer/applicant shall not thereafter be responsible to indemnify, defend, protect, or hold harmless the City, any agency or instrumentality thereof, or any of its officers, officials, employees, or agents.
- 5) The developer/applicant shall construct and operate the project in strict compliance with the approvals granted herein, City standards, laws, and ordinances, and in compliance with all State and Federal laws, regulations, and standards. In the event

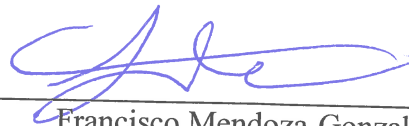
of a conflict between City laws and standards and a State or Federal law, regulation, or standard, the stricter or higher standard shall control.

- 6) Notwithstanding all other conditions, all construction and improvements shall be in strict accordance with Zoning, Building, and all other codes, ordinances, standards, and policies of the City of Merced.
- 7) Appropriate turning radii shall be provided within the parking areas to allow for Fire Department and refuse truck access.
- 8) Signs shall be posted advising that vehicles exiting the vacuum area will be merging into the queue line and advising motorists to allow these vehicles to merge. If congestion results as motorists trying to merge into the queue line, a Prime Shine employee shall direct traffic to allow vehicles to merge.
- 9) The developer shall use proper dust control procedures during site development in accordance with San Joaquin Valley Air Pollution Control District rules.
- 10) As required by Merced Municipal Code Section 17.04.050 and 17.04.060, full public improvements shall be installed/repared if the permit value of the project exceeds \$100,000.00. Public improvements may include, but not be limited to, repairing/replacing the sidewalk, curb, gutter, and street corner ramp(s), so that they comply with ADA standards and other relevant City of Merced/State/Federal standards and regulations.
- 11) The color of the shade canopies shall match or compliment the colors used for the carwash.
- 12) The premises shall remain clean and free of debris and graffiti at all times.
- 13) All landscaping shall be kept healthy and maintained, and any damaged or missing landscaping shall be replaced immediately.

If there are any questions concerning these conditions and recommendations, please contact Francisco Mendoza-Gonzalez at (209) 385-6858.

7-18-19

DATE



Francisco Mendoza-Gonzalez

Associate Planner

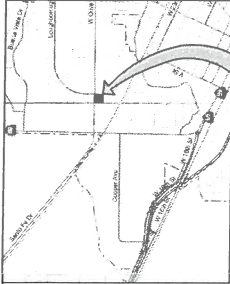
TITLE

Exhibits

- A) Location Map
- B) Site Plan
- C) Elevations
- D) Categorical Exemption



EXHIBIT A



PROJECT LOCATION
1800 W. OLIVE AVE
MERCED, CA

PROJECT TEAM

PROJECT ARCHITECT:
PRIME SHINE ARCHITECTURE
221 E. 5th STREET
TUCSON, AZ 85701
CONTACT: TIANA WEBER
www.primeshine.com

ARCHITECT:
API ARCHITECTURE
4335-N NORTH STAR WAY
MERCED, CA 95356
CONTACT: JEFFREY W. BAKER
www.apiconc.com

PROJECT DESCRIPTION

RENE CAR WASH TURNED APPROXIMATELY 180 DEGREES TO PROVIDE A SECOND LANE AND 2000-SQ-FOOT CAR WASH. NEW DRIVEWAY AND DRIVEWAY APPROXIMATELY 10 FEET WIDE TO COVER THE NEW 2000-SQ-FOOT CAR WASH.

SITE DATA

PROJECT NO: 086756/01/000
PROPERTY AREA: 22,674 SQ. FT. / 3.1 AC
EXISTING BUILDING COVERAGE: 22,680 SQ. FT. (100%)
CITY/TOWN: PD 16
GENERAL PLAN: REGIONAL COMMUNITY COMMERCIAL
SITE COVERAGE OF PROPOSED PROJECT:
EXISTING CAR WASH AND STORAGE: 2,480 SQ. FT.
NEW CAR WASH: 2,000 SQ. FT.
TOTAL CAR WASH: 4,480 SQ. FT.
LANDSCAPE AREA - SEE BELOW FOR COMPLETE LANDSCAPE AREA AND STORAGE:
TOTAL LANDSCAPE AREA: 4,726 SQ. FT. / 20% OF SITE AREA
PAVEMENT / LANDSCAPE AREA:
TOTAL: 14,637 SQ. FT. / 64% OF SITE AREA
TOTAL: 22,674 SQ. FT. / 100%

LANDSCAPING

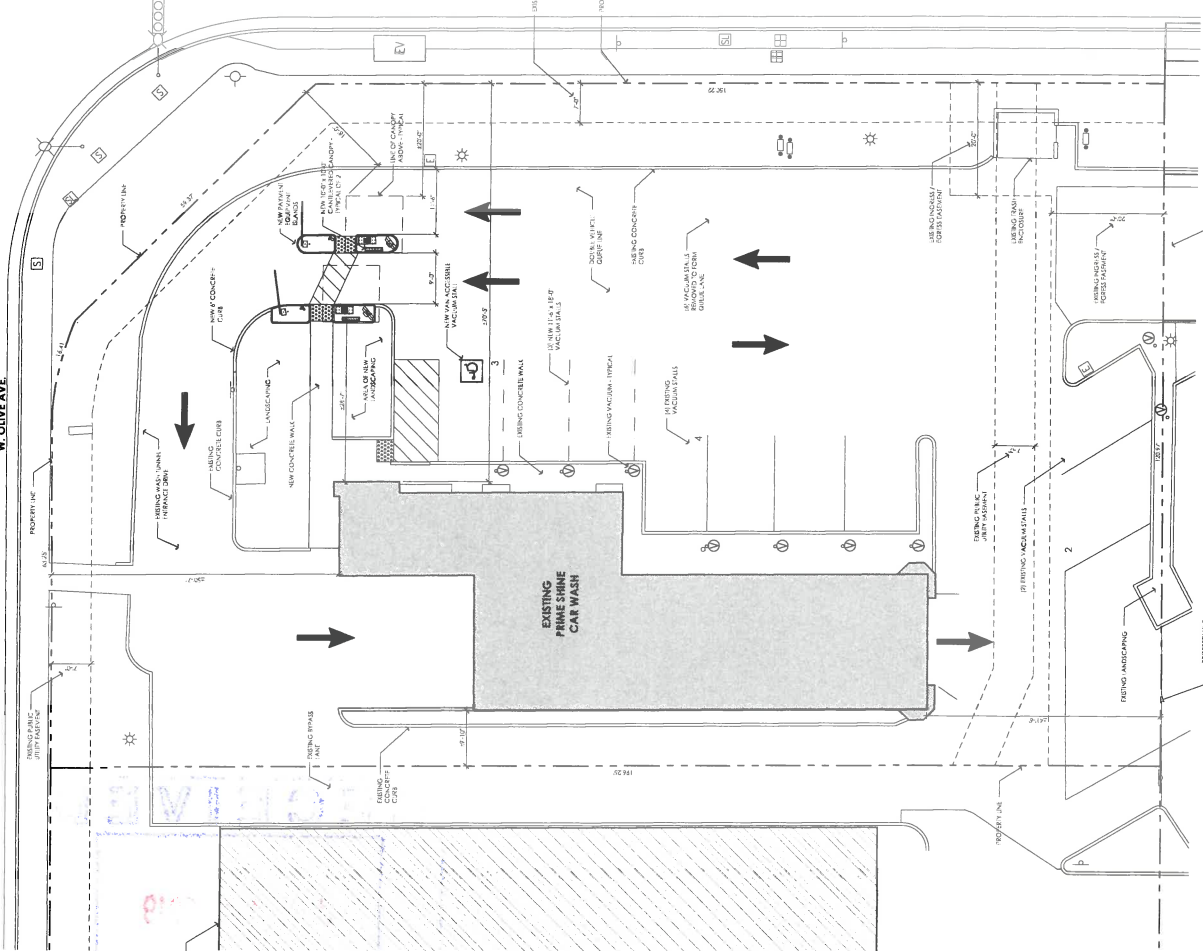
TOTAL LANDSCAPE AREA: 4,480 SQ. FT.
LANDSCAPE AREA DEDICATED TO CAR WASH: 28 SQ. FT.
LANDSCAPE AREA ADJACENT TO DRIVEWAY: 302 SQ. FT.
LANDSCAPE AREA TOTAL: 4,726 SQ. FT.

BUILDING DATA

EXISTING BUILDING AREAS: 22,680 SQ. FT.
EXISTING CAR WASH: 2,480 SQ. FT.
EXISTING BUILDING HEIGHT: 13'-4"
EXISTING CAR WASH HEIGHT: 12'-0"
NEW CAR WASH HEIGHT: 10'-0"
NEW CAR WASH HEIGHT: 12'-0"

PARKING DATA

PARKING PROVIDED:
EXISTING: 14 STALLS
NEW: 5 STALLS
TOTAL: 19 STALLS
TOTAL PROVIDED:
19 STALLS PER IMPROVE AT LARGEST 1/11/14



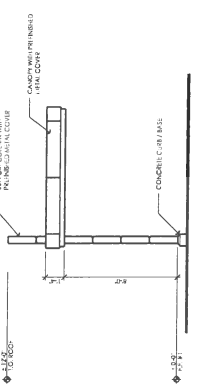
PRELIMINARY SITE PLAN
SCALE: 1" = 20'

ADJACENT COMMERCIAL DEVELOPMENT
477-1/2 W. 22ND STREET
MERCED, CA 95356

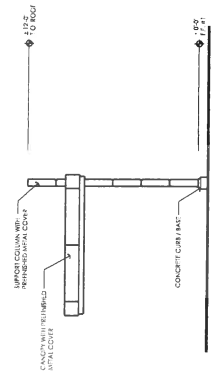
**NEW CANOPY AND DRIVE ALTERATIONS:
PRIME SHINE
CAR WASH
1800 W. OLIVE
MERCED, CA.**



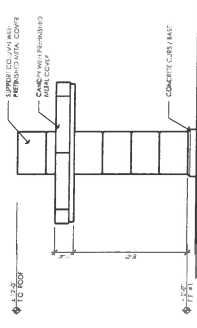
ARCHITECTURE PLUS INC.
4335-N NORTH STAR WAY
MERCED, CA 95356
PH: 209.577.4661
FX: 209.577.0213
WWW.APIARCH.COM



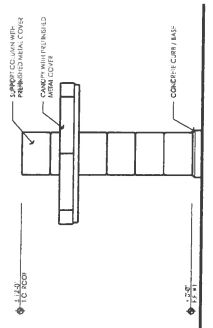
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



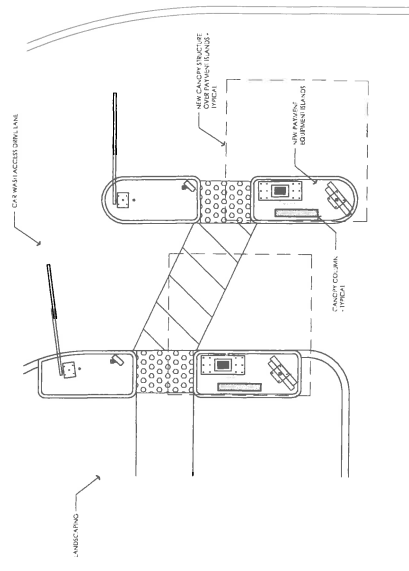
NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



PRELIMINARY SITE PLAN - ENLARGED
SCALE: 1/4" = 1'-0"



NEW CANOPY AND
DRIVE ALTERATIONS:
**PRIME SHINE
CAR WASH**
1800 W. OLIVE
MERCED, CA.



ARCHITECTURE PLUS INC.
4335-S NORTH STAR WAY
MODesto, CA 95356
ph. 209.577.4661
fx. 209.577.0213
www.apipc.com

NOTICE OF EXEMPTION

To: _____ Office of Planning and Research
P.O. Box 3044
Sacramento, CA 95812-3044

From: (Public Agency)
City of Merced
678 West 18th St.
Merced, CA 95340

X County Clerk
County of Merced
2222 M Street
Merced, CA 95340

Project Title: Site Plan Review #441 (Environmental Review #19-16)

Project Applicant: James Kinney, for Nation Retail Properties, LP

Project Location (Specific): 1800 W. Olive Ave. APN: 058-220-027

Project Location - City: Merced **Project Location - County:** Merced

Description of Nature, Purpose, and Beneficiaries of Project: The applicant is requesting approval to add a second queueing line and install shade canopies with payment islands on an existing car wash

Name of Public Agency Approving Project: City of Merced

Name of Person or Agency Carrying Out Project: James Kinney, for Nation Retail Properties, LP

Exempt Status: (check one)

- Ministerial (Sec. 21080(b)(1); 15268);
- Declared Emergency (Sec. 21080(b)(3); 15269(a));
- Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- Categorical Exemption. State Type and Section Number: 15301 (a)
- Statutory Exemptions. State Code Number: _____
- General Rule (Sec. 15061 (b)(3))

Reasons why Project is Exempt: As defined under the above referenced Section, the proposed project consists of minor interior and exterior alterations only, which are considered to be exempt under the CEQA Guidelines per Section 15301 (a).

Lead Agency: City of Merced

Contact Person: Francisco Mendoza-Gonzalez **Area Code/Telephone:** (209) 385-6858

Signature:  **Date:** 7-11-2019 **Title:** Planner

Signed by Lead Agency **Date Received for Filing at OPR:** _____
(If applicable)

Authority Cited: Sections 21083 and 21110. Public Resources Code
Reference: Sections 21108, 21152, and 21152.1. Public Resources Code