



ADMINISTRATIVE REPORT

File #: 25-638

Meeting Date: 7/9/2025

Report Prepared by: Jonnie Lan, AICP, Acting Planning Manager and Valeria Renteria, Associate Planner, Development Services Department

SUBJECT: Public Hearing - General Plan Amendment #24-03, Residential Planned Development (RP-D) Establishment #83, Vesting Tentative Subdivision Map #1333, Zone Change #435 and Environmental Review Checklist #24-30, initiated by Lennar Homes of California, on behalf of Merced Gateway, LLC and Lyons Investments, property owners. These actions are to support the construction of over 61 acres of residential development (up to 570 detached units) and over 9 acres of commercial development. The approximate 73.7-acre subject site is located at 3610 East Gerard Avenue (APNs 061-680-001, 061-710-009 and 061-710-023) generally located on the southwest corner of East Gerard Avenue and Campus Parkway.

REPORT IN BRIEF

Request for Planning Commission to consider recommending approval of General Plan Amendment #24-03 to amend the General Plan Land Use Designation from being listed as Business Park (BP) and Manufacturing/Industrial (IND) to Business Park (BP), Low Medium Residential (LMD), High-Medium Residential (HMD) and Open Space-Park Recreation (OS-PK) and recommend approval or denial of Zone Change #435 to rezone the site to establish Residential Planned Development (RP-D) #83. In addition, staff requests that the Planning Commission consider approving Vesting Tentative Subdivision Map (VSTM) #1333 and adopting Environmental Review Checklist #24-30. The applicant is proposing to develop 570 residential lots and about 9 acres of commercial/business park uses.

RECOMMENDATION

Recommend approval or denial to City Council:

- 1) Environmental Review #24-30 (Negative Declaration)
- 2) General Plan Amendment #24-03
- 3) Residential Planned Development Establishment #83
- 4) Zone Change #435

Approve/Disapprove/Modify:

- 1) Environmental Review #24-30 (Negative Declaration)
- 2) Vesting Tentative Subdivision Map #1333

[subject to City Council approval of General Plan Amendment #24-03, Residential Planned Development Establishment #83 and Zone Change #435]

ALTERNATIVES

1. Approve or recommend approval; or,
2. Deny or recommend denial; or,
3. Refer back to staff for reconsideration of specific items (to be addressed in the motion); or,
4. Continue to a future meeting (date and time to be specified in the motion).

DISCUSSION

Project Description

The Project Site consists of 3 parcels that total approximately 73.7 acres located at 3610 East Gerard Avenue (APNs 061-680-001, 061-710-009 and 061-710-023) (Attachment A). The properties are currently designated in the General Plan as Business Park and Manufacturing/Industrial (IND) (Attachment D). The properties are currently zoned as Business Park (B-P) and Heavy Industrial (I-H). The subject site is surrounded to the north by residential uses, to the west by commercial uses, to the east by vacant land in the City limits zoned Heavy Industrial and to the south vacant County land zoned by Merced County as General Agricultural and designated as Business Park Reserve by the City of Merced General Plan.

The applicant is requesting approval to amend the General Plan Land Use Designation from Business Park (BP) and Manufacturing/Industrial (IND) to Business Park (BP), Low Medium Residential (LMD), High-Medium Residential (HMD) and Open Space-Park Recreation (OS-PK) (Attachment E) and recommend approval or denial of Zone Change #435 to rezone the site to establish Residential Planned Development (RP-D) #83. The action is being requested to support the development of 570 single-family homes, 3 acres of open space and 9 acres of commercial/business park uses. The proposed residential lots would range in size between 2,347 square feet and 6,889 square feet.

The developer has submitted building designs for the residential lots. Because this site is proposed to be zoned as Residential Planned Development, any changes to the building design/elevations shall be reviewed and approved by Planning Staff prior to issuance of a building permit for this subdivision. The homes shall be required to comply with the City's minimum design standards for single-family homes as required under Merced Municipal Code Section 20.46.020 - Design Standards for Single-Family Dwellings and Mobile Homes. The minimum parking requirement for single-family homes is one parking space per unit. These units have at least one covered parking space. In addition, each unit has at least one space located on the driveway. Attachment G illustrates the proposed elevations for the residential units. Attachment H illustrates the parking. The commercial/business park parcels will be developed at a later time.

Surrounding uses as noted in Attachment A

Surrounding Land	Existing Use of Land	City Zoning Designation	City General Plan Land Use Designation

North	Single-Family Homes (across E. Gerard Avenue)	Low Density Residential (R-1-5)	Low Density Residential (LDR)
South	County Agriculture	County	Business Park Reserve (BP)
West	Regional Commercial	Regional Commercial Via Merced Gateway Master Plan	Low Density Residential (LDR) and Commercial Office (CO)
East	Vacant Manufacturing/Industrial (IND)	Heavy Industrial (I-H)	Manufacturing/Industrial (IND)

Background

The subject site (approximately 73.7 acres) was annexed into the City in 1999, as part of the Lyons Annexation (Annexation No. 183). This annexation incorporated approximately 565 acres of land into the City limits. The subject site is designated Business Park (BP) and Manufacturing/Industrial (IND). However, the site has remained vacant for several decades.

Findings/Considerations

Please refer to Exhibit B of the Draft Planning Commission Resolution at Attachment B for the Findings related to General Plan Amendment #24-03, Zone Change #435 and the establishment of Residential Planned Development #83. Please refer to Exhibit B of the Draft Planning Commission Resolution at Attachment C for the Findings related to Vesting Tentative Subdivision Map #1333

Environmental Review

Planning staff conducted an environmental review of the project in accordance with the requirements of the California Environmental Quality Act (CEQA) and concluded that Environmental Review #24-30 results in a Mitigated Negative Declaration as the proposal would not have significant effects on the environment if mitigations are implemented. A copy of the Initial Study with a Mitigated Negative Declaration can be found at Attachment J. This review was posted for public comment in accordance with CEQA law.

ATTACHMENTS

- A. Location Map
- B. Draft Planning Commission Resolution #4163 (GPA, ZC and RPD Est #83)
- C. Draft Planning Commission Resolution #4164 (Approving Tentative Map)
- D. Current Land Use Diagram
- E. Proposed Land Use Diagram
- F. Tentative Map
- G. Residential Unit Elevations

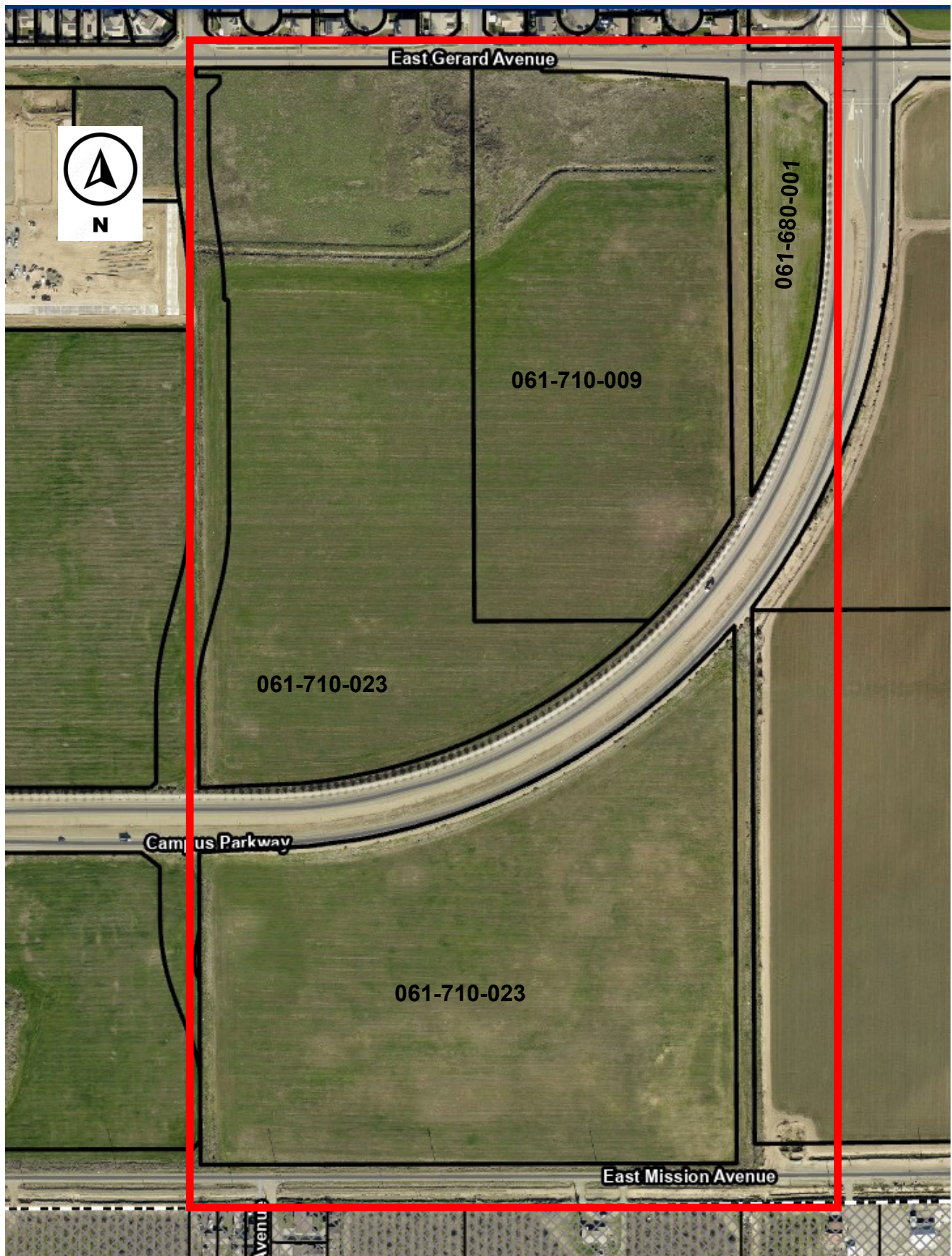
H. Parking Exhibit and Illustrative Detail

I. Development Standards

J. Initial Study (Mitigated Negative Declaration) Available at Attachment 11 of Staff Report #842

K. Presentation

Location Map



CITY OF MERCED
Planning Commission

Resolution #4163

WHEREAS, the Merced City Planning Commission at its regular meeting of July 9, 2025, held a public hearing and considered **General Plan Amendment #24-03, Zone Change #435 and Residential Planned Development Establishment #83**, initiated by Lennar Homes of California, on behalf of Merced Gateway, LLC and Lyons Investments property owners for the property located at 3610 East Gerard Avenue (APNs 061-680-001, 061-710-009 and 061-710-023). The General Plan Amendment would change the General Plan land use designation of the 73.7-acre site from Business Park (BP) and Manufacturing/Industrial (IND) to Business Park (BP), Low Medium Residential (LMD), High-Medium Residential (HMD) and Open Space-Park Recreation (OS-PK). Zone Change #435 would rezone the site to establish Residential Planned Development (RP-D) #83 changing the zone for 64.6 acres from Business Park (BP) and Heavy Industrial (I-H) to Residential Planned Development #83 and to Business Park for the remaining 9 acres. The approximate 73.7-acre subject site is generally located on the southwest corner of East Gerard Avenue and Campus Parkway. The property being more particularly described as Lots “9” and “23” of Assessors Map Book 61 - Page 71 and Lot “1” of Assessors Map Book 61 – Page 68.

WHEREAS, the Merced City Planning Commission concurs with Findings/Considerations A through E of Staff Report #25-638 (Exhibit B of Planning Commission Resolution #4163); and,

WHEREAS, the Merced City Planning Commission concurs with the Findings for Planned Development (P-D) Zoning Districts in Merced Municipal Code Section 20.20.020 (J); and,

NOW THEREFORE, after reviewing the City’s Initial Study and Draft Environmental Determination, and fully discussing all the issues, the Merced City Planning Commission does resolve to hereby recommend to City Council adoption of a Negative Declaration regarding Environmental Review #24-30, and recommend approval of General Plan Amendment #24-03, Zone Change #435 and Residential Planned Development #83 Establishment, subject to the Conditions set forth in Exhibit A attached hereto and incorporated herein by this reference.

Upon motion by Commissioner _____, seconded by Commissioner _____, and carried by the following vote:

AYES: Commissioner(s)

NOES: Commissioner(s)

ABSENT: Commissioner(s)

ABSTAIN: Commissioner(s)

PLANNING COMMISSION RESOLUTION #4163

Page 2

July 9, 2025

Adopted this 9th of July 2025

Chairperson, Planning Commission of
the City of Merced, California

ATTEST:

Secretary

Exhibits:

Exhibit A – Conditions of Approval

Exhibit B – Findings/Considerations

CITY OF MERCED
Planning Commission

Resolution #4164

WHEREAS, the Merced City Planning Commission at its regular meeting of July 9, 2025, held a public hearing and considered **Vesting Tentative Subdivision Map #1333** initiated by Lennar Homes of California, on behalf of Merced Gateway, LLC and Lyons Investments property owners for the property located at 3610 East Gerard Avenue (APNs 061-680-001, 061-710-009 and 061-710-023). The Vesting Tentative Subdivision Map would divide the site and create 570 single-family residential lots, four lots designated as open space, and two lots designated for business park/commercial uses. The approximate 73.7-acre subject site is generally located on the southwest corner of East Gerard Avenue and Campus Parkway. The property being more particularly described as Lots “9” and “23” of Assessors Map Book 61 - Page 71 and Lot “1” of Assessors Map Book 61 – Page 68; and,

WHEREAS, the Merced City Planning Commission concurs with Findings/Considerations A through J of Staff Report #25-638 (Exhibit B of Planning Commission Resolution #4164); and,

NOW THEREFORE, after reviewing the City’s Initial Study and Draft Environmental Determination, and fully discussing all the issues, the Merced City Planning Commission does resolve to hereby adopt a Mitigated Negative Declaration regarding Environmental Review #24-30 and approve Vesting Tentative Subdivision Map #1333 subject to the Conditions set forth in Exhibit A attached hereto and incorporated herein by this reference.

Upon motion by Commissioner _____, seconded by
Commissioner _____, and carried by the following vote:

AYES: Commissioner(s)

NOES: Commissioner(s)

ABSENT: Commissioner(s)

ABSTAIN: Commissioner(s)

PLANNING COMMISSION RESOLUTION #4164

Page 2

July 9, 2025

Adopted this 9th day of July 2025

Chairperson, Planning Commission of
the City of Merced, California

ATTEST:

Secretary

Exhibits:

Exhibit A – Conditions of Approval

Exhibit B – Findings/Considerations

Conditions of Approval
Planning Commission Resolution # 4164
Vesting Tentative Subdivision Map #1333

General

1. The proposed project shall be constructed/designed as shown on Attachment G of Planning Commission Staff Report 25-638 (Site Plan, Floor Plans and Elevations), and as supported by the conditions of approval within this resolution.
2. The Project shall comply with all applicable conditions set forth in the resolutions for Annexation No. 183 previously approved for this site.
3. All other applicable codes, ordinances, policies, etc., adopted by the City of Merced shall apply.
4. The developer/owner is required to finance the annual operating costs for police and fire services as well as storm drainage, public landscaping, street trees, streetlights, parks and open space, which may include a financing mechanism such as a Community Facilities District (CFD) or, assessment district. Procedures for financing these services and on-going maintenance shall be initiated before final map approval or issuance of a certificate of occupancy for any building, whichever comes first. Developer/Owner shall submit a request agreeing to such a procedure, waiving right to protest and post deposit as determined by the City Engineer to be sufficient to cover procedure costs and maintenance costs expected prior to first assessments being received.
5. The developer/applicant shall indemnify, protect, defend (with counsel selected by the City), and hold harmless the City, and any agency or instrumentality thereof, and any officers, officials, employees, or agents thereof, from any and all claims, actions, suits, proceedings, or judgments against the City, or any agency or instrumentality thereof, and any officers, officials, employees, or agents thereof to attack, set aside, void, or annul, an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board, or legislative body, including actions approved by the voters of the City, concerning the project and the approvals granted herein. Furthermore, developer/applicant shall indemnify, protect, defend, and hold harmless the City, or any agency or instrumentality thereof, against any and all claims, actions, suits, proceedings, or judgments against any governmental entity in which developer/applicant's project is subject to that other governmental entity's approval and a condition of such approval is that the

City indemnify and defend (with counsel selected by the City) such governmental entity. City shall promptly notify the developer/applicant of any claim, action, suits, or proceeding. Developer/applicant shall be responsible to immediately prefund the litigation cost of the City including, but not limited to, City's attorney's fees and costs. If any claim, action, suits, or proceeding is filed challenging this approval, the developer/applicant shall be required to execute a separate and formal defense, indemnification, and deposit agreement that meets the approval of the City Attorney and to provide all required deposits to fully fund the City's defense immediately but in no event later than five (5) days from that date of a demand to do so from City. In addition, the developer/applicant shall be required to satisfy any monetary obligations imposed on City by any order or judgment.

6. The developer/applicant shall construct and operate the project in strict compliance with the approvals granted herein, City standards, laws, and ordinances, and in compliance with all State and Federal laws, regulations, and standards. In the event of a conflict between City laws and standards and a State or Federal law, regulation, or standard, the stricter or higher standard shall control.

Building

7. The project shall comply with all requirements of the California Building Code and all flood requirements of the Federal Emergency Management Agency (FEMA), as well as the requirements for the California Urban Level of Flood Protection (CA 200-year flood) at the time of permit issuance.

Landscaping

8. All landscaping in the public right-of-way shall comply with State Water Resources Control Board Resolution No. 2015-0032 "To Adopt an Emergency Regulation for Statewide Urban Water Conservation" and the City's Water Conservation Ordinance (Merced Municipal Code Section 15.42) and any amendments. Xeriscape or pervious artificial turf shall be used in place of natural sod or other living ground cover. If turf is proposed to be installed in park-strips or on-site, high quality artificial turf (approved by the City Engineer and Development Services Director) shall be installed. All irrigation provided to street trees, parking lot trees, or other landscaping shall be provided with a drip irrigation or micro-spray system. All landscaping shall

comply with the City's Water Efficient Landscape Ordinance (MMC Section 20.36.030) and any amendments

9. All landscaping shall be kept healthy and maintained in good condition. Any damaged or missing landscaping shall be replaced immediately.
10. Trees and or fast-growing vines or other plants shall be planted on or near the required sound wall along roadways to soften the visibility of the walls and protect them from graffiti. Details to be worked out with Planning staff during the building permit stage.
11. Sound walls must be coated in a graffiti protectant coating as approved by Public Works director or designee to protect them from tagging and graffiti prior to landscape growth.

Engineering

12. Full public improvements shall be installed/repared if the permit value of the project exceeds \$100,000.00. Public improvements may include, but not be limited to, repairing/replacing the sidewalk, curb, gutter, and street corner ramp(s), so that they comply with ADA standards and other relevant City of Merced/State/Federal standards and regulations.
13. Any missing or damaged improvements along the property frontage shall be installed/repared to meet City Standards. Any improvements that don't meet current City Standards shall be replaced to meet all applicable standards.
14. The project shall comply with all the Post Construction Standards required to comply with State requirements for the City's Phase II MS-4 Permit (Municipal Separate Storm Sewer System) and include onsite or approved offsite stormwater retention capacity for a 50-year, 24-hour storm.
15. The developer must address general storm water drainage on-site unless approved by the City Engineer or their designee. The developer will submit storm water drainage plans and agreements, if applicable, with their final map application, all to be approved by the City Engineer.
16. All residential exterior setback areas, excluding areas required for access to the property, shall be landscaped. Landscaping may consist of any combination of living plants such as trees, shrubs and turf; related natural features such as rock, stone or bark chips; or pervious artificial turf that meets acceptable standards as determined by the Department of Development Services Director or their designee. Decorative hardscape featuring pervious

EXHIBIT A

OF PLANNING COMMISSION RESOLUTION #4164

Page 3

materials are permitted within required landscaping areas. Drought tolerant landscape materials are required, unless otherwise approved with a minor use permit. Any street trees must be per city standards.

17. Drainage from the individual residential lots shall be retained on the lots. No drainage shall run-off onto adjacent properties or the right of way.
18. Prior to approval of final map, Developer will work with the City Engineer or their designee to satisfy the requirements for a looped water system from Mission Avenue to Gerard Avenue
19. Prior to approval of final map, Developer will work with the City Engineer or their designee to satisfy the requirements for the development to be served by City sewer, including ensuring there is enough sewer capacity and that it can be supported by the proposed lift station. If required, the Project Developer will enter into a fair-share agreement to address the sewer services.
20. Prior to approval of final map, developer shall provide the City Engineer with storm drainage calcs for the proposed storm drainage basin.
21. Developer must work with utilities who will serve this area and comply with all requirements.
22. Developer will provide their fair share of improvements as determined by the City Engineer including, but not limited to street, curb, sidewalk and any traffic control devices along Pluim, Gerard, Campus Parkway and/or Mission.
23. Improvement agreement for any and all improvements, including, but not limited to those listed above shall be provided to the City Engineer prior to approval of final map.
24. Any temporary improvements must be reviewed by the City Engineer.

Merced Irrigation District

25. An Encroachment Agreement with MID will be required for any work associated with MID facilities and for any roadways, walkways, bike paths, utilities and pipelines crossing MID facilities or rights of way. A joint use agreement between the City of Merced and MID will be executed for those sections of the City's improvements within MID's right of way.
26. Pending MID Board approval, MID will quitclaim its existing 40.00-foot easement. In return, the developer will grant back to MID an exclusive 30.00-foot-wide easement prior to the subdivision map filing.

27. If storm water runoff from the site is to be discharged into an MID facility, the Owner would be required to enter into a Storm Drainage Agreement with the MID, paying all applicable fees.
28. Design plans for the development shall be reviewed for any impacts to MID facilities and signed off by MID.
29. No structures, trees or fences will be allowed within MID rights of way.
30. MID reserves the right for further comment as unforeseen circumstances may arise.

Public Safety

31. Developer shall work with the Police Department and the City Engineer to establish location of stop signs during the final map approval process.
32. Any gates to support public access shall be provided with a Knox Box, as required by the Fire Department.
33. Any construction must meet any and all fire codes applicable at the time of development and building permit application.

Planning

34. Minor modifications to the tentative map may be reviewed and approved by the Director of Development Services or designee as allowed by Merced Municipal Code Section 20.20.020 (O). If the Director of Development Services determines the map modifications require a higher level of approval, they may elevate the review and refer the consideration to the Site Plan Committee or Planning Commission, as the changes require.
35. This resolution for a Vesting Tentative Subdivision Map (VTSM #1333) does not become effective until the General Plan Amendment (GPA #24-03) and establishment of Residential Planned Development (R-PD #83) are approved by the City Council.
36. All mechanical equipment shall be screened from public view.
37. A sound wall shall be required and constructed to a minimum height of 7 feet above ground level along all residential properties adjacent to arterial and collector roads unless otherwise determined by the City. Suitable construction materials include concrete blocks, masonry, or stucco on both sides of a wood or steel stud wall.

38. The developer/applicant will be subject to the mitigations as determined by ERC #25-30 Mitigated Negative Declaration (SCH 2025060379).
39. Unless further restricted in the City of Merced Municipal Code, grading and construction shall not take place beyond the hours of 7:00 A.M. and 7:00 P.M. Monday- Sunday.
40. Two-story home construction of lots that will be directly adjacent with Campus Parkway shall be constructed without second-floor balconies. A note prohibiting such second-floor balconies shall be placed as a Note on the VSTM #1333, and all plans and specs.
41. The developer shall use proper dust control procedures during site development in accordance with San Joaquin Valley Air Pollution Control District rules.
42. Developer shall dedicate and improve the proposed park spaces unless otherwise approved by the City.
43. Developer will pay impact fees applicable at the time of building permit submission.
44. Any modifications to the street parking plan as shown in Attachment H of SR 25-638 shall be reviewed by the Director of Development Services or designee.

**Findings and Considerations
Planning Commission Resolution # 4164
Vesting Tentative Subdivision Map #1333**

FINDINGS/CONSIDERATIONS:

General Plan Compliance and Policies Related to This Application

- A) If the General Plan Amendment is approved, the proposed project would comply with the General Plan land use designation of Business Park (BP), Low Medium Residential (LMD), High-Medium Residential (HMD) and Open Space-Park Recreation (OS-PK), which allows for the development of a residential small lot subdivision, open space and adjacent commercial/business park uses. The project would also comply with the Zoning classification of Residential Planned Development (RP-D) #83 with the change in land use designation from Business Park (BP) and Heavy Industrial (I-H) to Business Park (BP), Low Medium Residential (LMD), High-Medium Residential (HMD) and Open Space-Park Recreation (OS-PK).

The proposed project, with conditions of approval, will help achieve the following General Plan land use policies:

Policy L-3.2: Encourage Infill Development and a Compact Urban Form

The proposed project would develop an approximate 73.7-acre site that has been vacant for decades. Developing this site addresses some maintenance issues associated with undeveloped parcels, such as overgrown weeds (fire hazard), vandalism, and loitering which could impact neighboring parcels. In addition, infill development is an efficient use of development that utilizes existing infrastructure within City limits as opposed to annexing land that requires expanding City infrastructure and services.

Traffic/Circulation

- B) The proposed development includes a small lot subdivision that is proposed with approximately 570 residential units, and 9 acres of adjacent Business Park/Commercial uses. The site is located on an approximately 73.7-acre vacant parcel located at 3610 East Gerard Avenue at the southwest corner of East Gerard Avenue and Campus Parkway. The project site fronts a collector road to the north (East Gerard Avenue) Campus Parkway to the east and an

arterial to the south (East Mission Avenue). Vehicle access would be available from East Gerard Avenue, East Mission Avenue and Pluim Drive, once it is completed. Campus Parkway, which dissects the development, is designed to carry large volumes of traffic traveling north and south from Highway 99 to eventually the University of California, Merced, campus. Its close connection to Highway 99 connects this development and the rest of Merced with other regional communities throughout the State.

Vehicle Miles Traveled

The residential use is expected to generate 5,141 daily trips with an internal trip capture of 912 daily trips. Though the expected daily trips required that analysis be done, the result of that analysis showed that with mitigations the impact of the proposed trip generation would be less than significant with implemented mitigations. The roadways surrounding the project are built to address the additional traffic.

Improvements

The development requires the construction of a street network connecting the residential subdivision to Campus Parkway, East Gerard Avenue and East Mission Avenue. This street network shall be built to Merced City Standards (Planning Commission Resolution #4164 – Attachment C of Planning Commission Staff Report #25-638).

Public Improvements/City Services

- C) Any damaged or missing public improvements shall be repaired if the permit value of the project exceeds \$100,000.00. The need for repairs or replacement of any missing improvements would be evaluated at the building permit stage by the City's Engineering Department.
- D) Developer/applicant will share the cost of improvements as needed and required by the City Engineer to support the circulation and operation of the development. These costs may be addressed through paid fees. If those improvement agreements are private, the City Engineer must be made aware of such arrangements and agree that such arrangements meet the requirements necessary to support development. This information will be supplied to the City Engineer at final map application.

Parking

- E) The parking requirements for Single Family Dwellings is 1 parking stall per unit. The proposed residential development proposes at least a one-car garage per unit which would meet the parking requirements.

Site Design

- F) The proposed development includes a residential subdivision of 570 residential lots, 3 acres of open space and 9 acres of business park/commercial uses. The applicant proposes two-story units. The proposed residential lots would range in size between 2,347 square feet and 6,889 square feet.

Development Standards for the 570 residential lots shall meet standards set on Attachment I - Planned Development Standards of Staff Report #25-638. Because this site has a zoning classification of Residential Planned Development, the building design/elevations shall be reviewed and approved by Planning Staff prior to issuance of a building permit for this subdivision. The minimum parking requirement for single-family homes is one parking space per unit. Each one of these units would have at least one covered parking space within a garage, with some of the units have two parking spaces located within a garage.

Elevations

- G) The elevations shown at Attachment G illustrate the proposed residential structures for this project. The developer/applicant will be required to provide variation in the elevations for visual interest.

Landscaping

- H) The proposal does not include a landscape plan, but all future landscaping for mulch, shrubs, turf, or trees should be drought tolerant and all irrigation systems must comply with the latest requirements for water conservation. In addition, parking lot trees in the future commercial shall be installed as required by the City's Parking Lot Landscape Standards at the time of development approval. Parking lot trees shall be selected from the City's approved tree list, providing a 30-foot minimum canopy at maturity. If needed, street trees would be installed along East Gerard Avenue, Campus Parkway, Plum Drive and East Mission Avenue as required by City

standards. All trees shall be planted away from the City's 10-foot clear vision corner triangle area.

Neighborhood Impact

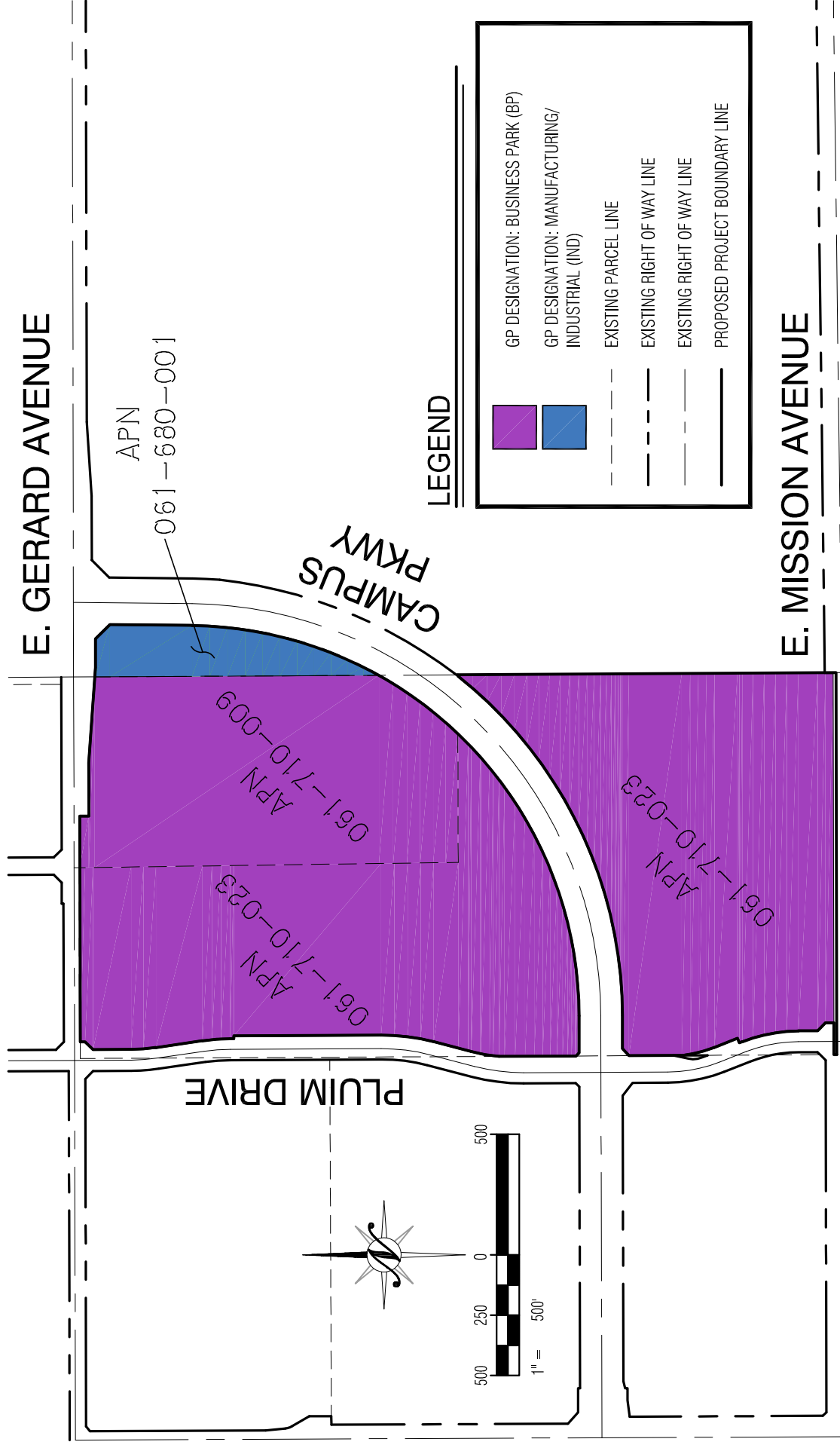
- I) The subject site is surrounded by a variety of uses which include residential to the north, vacant industrial to the east, county agricultural uses to the south and regional commercial to the west. The subject site is designated Business Park (BP) and Heavy Commercial (I-H). Even though the applicant is proposing a General Plan designation of Business Park, Low Medium Density Residential (LMD), High Medium Density Residential (HMD) and Open Space-Park Recreation (OS-PK), the proposed uses are expected to produce less traffic than expected for a Business Park development and would not significantly alter the traffic patterns throughout the adjacent neighborhood.

Public hearing notices were sent to all property owners within 300 feet of the project site. At the time that this report was prepared, the City had not received any comments regarding this project.

Environmental Clearance

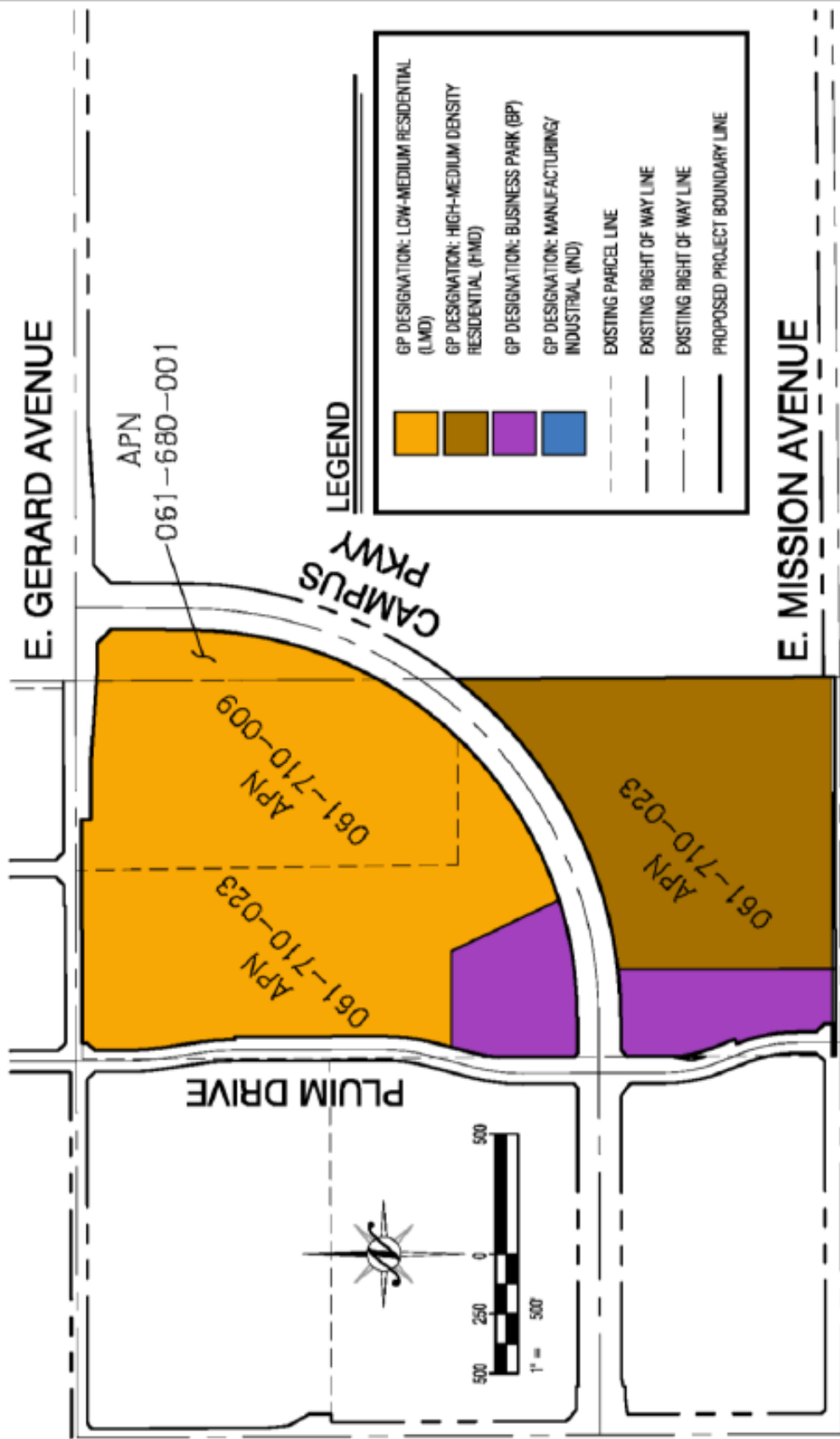
- J) Infill projects over 5 acres or projects that don't comply with Zoning/General Plan designations require an Initial Study, per the California Environmental Quality Act (CEQA). In this case, the project is over 5 acres (at 73.7 acres), and the site is not consistent with Zoning or the General Plan requiring an Initial Study. An Initial Study includes a wide range of analysis required by the State covering an array of subjects including, but not limited to, impacts on vehicle miles traveled, air quality, biological resource, public services, cultural resources, and City utilities. Planning staff has conducted an environmental review of the project in accordance with the requirements of CEQA and concluded that Environmental Review #24-30 results in a Mitigated Negative Declaration as the proposal would not have a significant effect on the environment if mitigations are implemented (Attachment J of Planning Commission Staff Report #25-638) and does not require the preparation of an Environmental Impact Report. A copy of the Initial Study with a Mitigated Negative Declaration can be found at Attachment J of Planning Commission Staff Report #25-638.

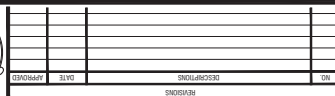
MERCED GATEWAY EXISTING CITY OF MERCED GENERAL PLAN EXHIBIT OCTOBER, 2024



ATTACHMENT D

MERCED GATEWAY PROPOSED CITY OF MERCED GENERAL PLAN EXHIBIT MARCH, 2025

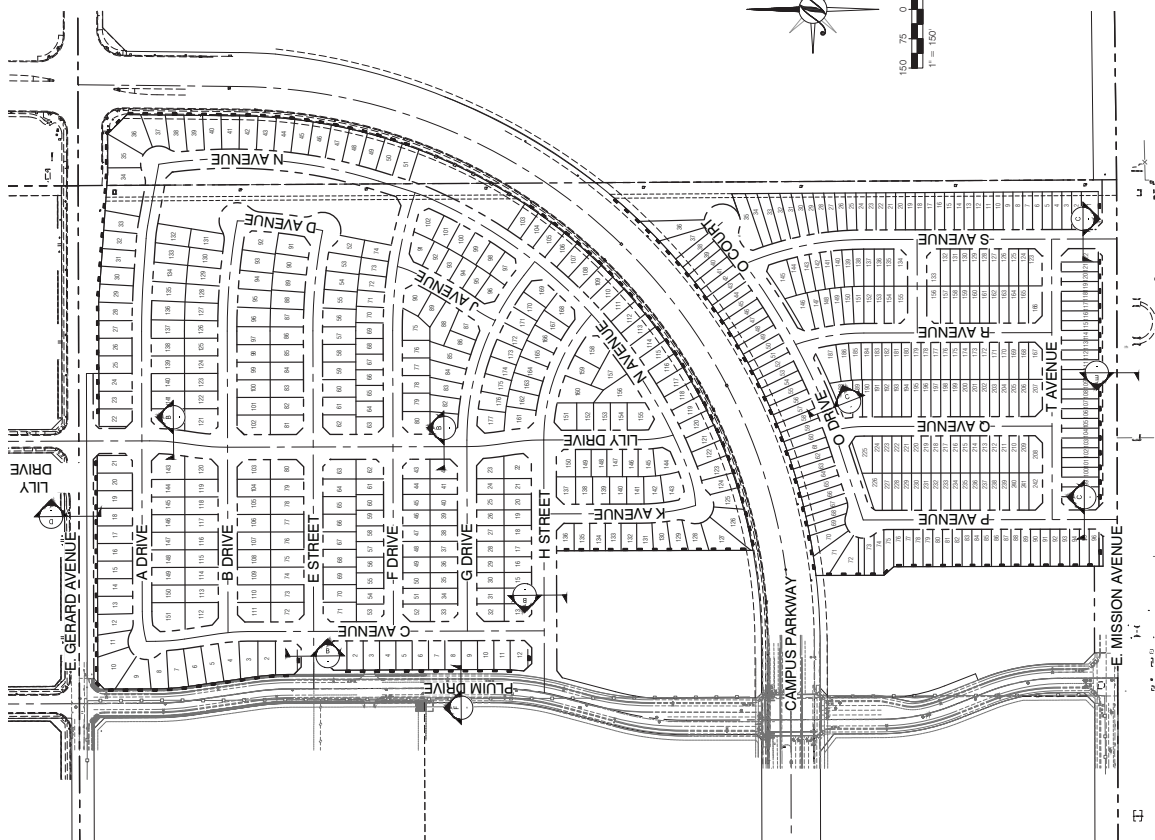




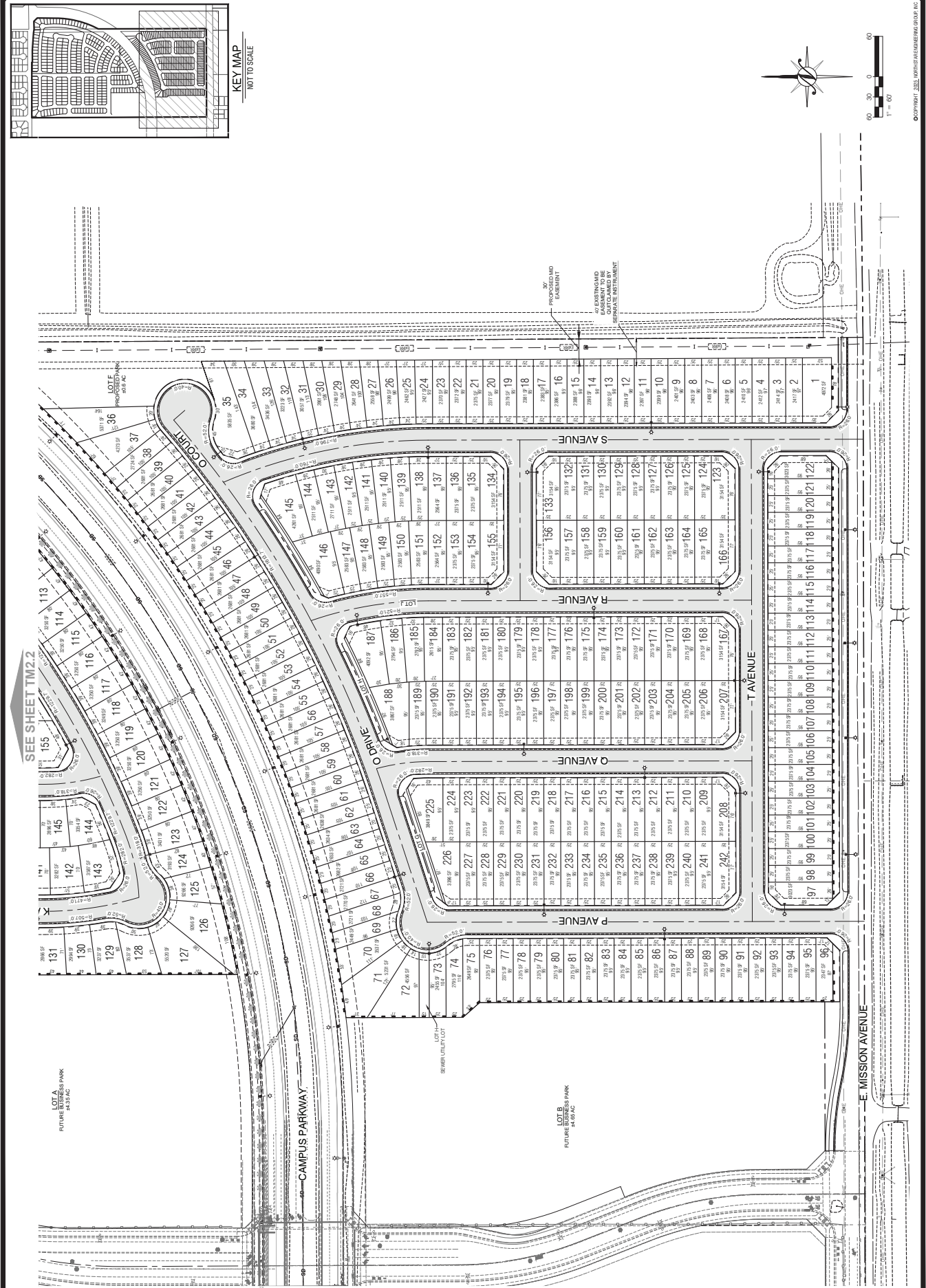
TM1.1

COVER SHEET	MERCED GATEWAY	CALIFORNIA
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[illegible]







TM3.1

NO.	DATE	BY	CHKD.	REVISIONS
1	01/10/02	JK	JK	ISSUED FOR PERMITTING
2	02/15/02	JK	JK	REVISED TO ADD LOT 100
3	03/20/02	JK	JK	REVISED TO ADD LOT 101
4	04/25/02	JK	JK	REVISED TO ADD LOT 102
5	05/30/02	JK	JK	REVISED TO ADD LOT 103
6	06/05/02	JK	JK	REVISED TO ADD LOT 104
7	07/10/02	JK	JK	REVISED TO ADD LOT 105
8	08/15/02	JK	JK	REVISED TO ADD LOT 106
9	09/20/02	JK	JK	REVISED TO ADD LOT 107
10	10/25/02	JK	JK	REVISED TO ADD LOT 108
11	11/30/02	JK	JK	REVISED TO ADD LOT 109
12	12/05/02	JK	JK	REVISED TO ADD LOT 110

North Arrow

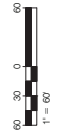
Engineering Group, Inc.
1000 10th Street, Suite 200
San Francisco, CA 94103
(415) 774-3333 Fax (415) 774-3334

GRADING PLAN
MERCED GATEWAY

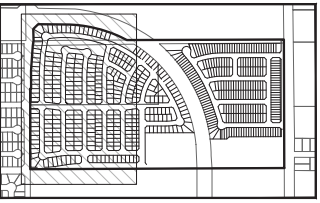
CALIFORNIA



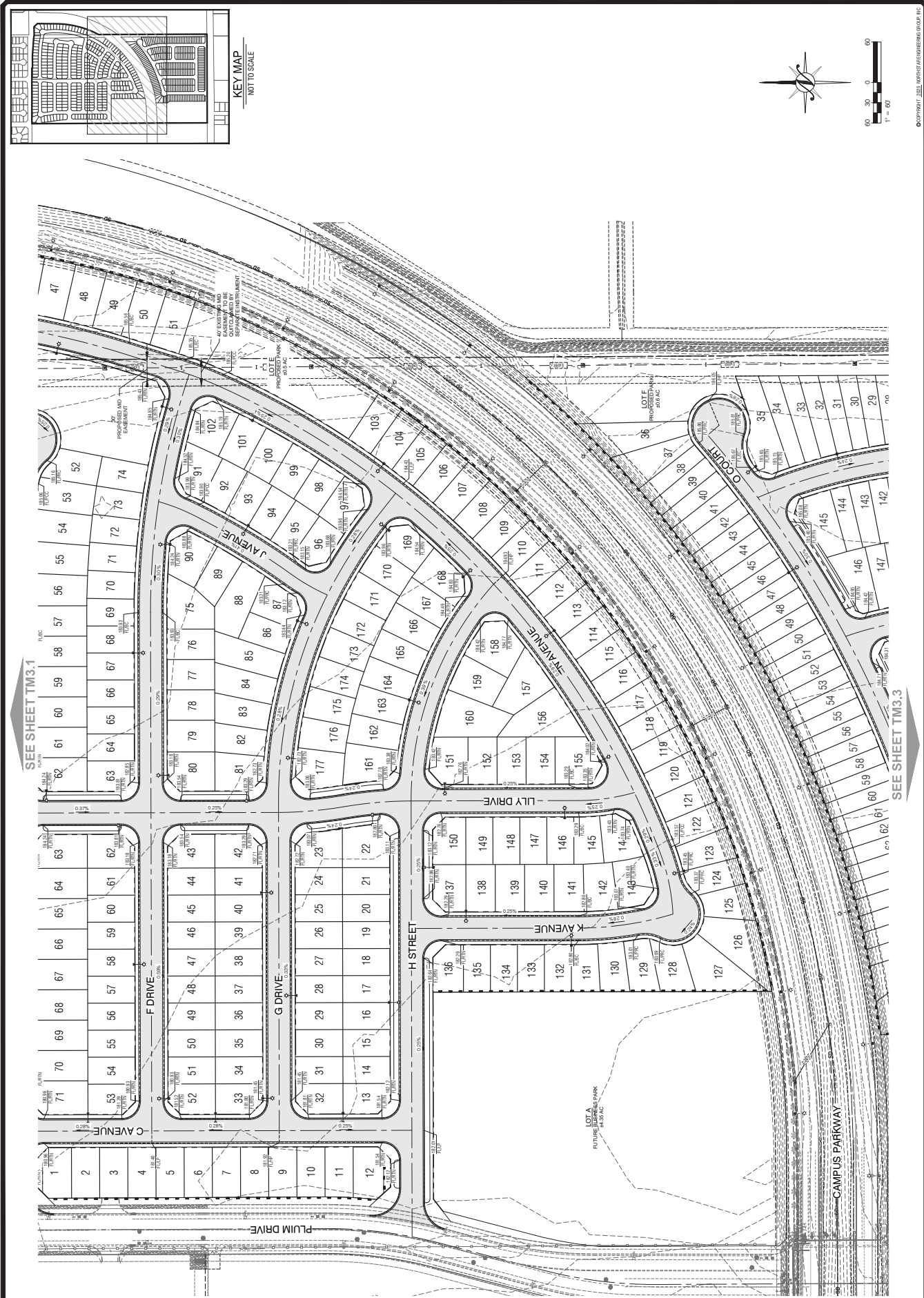
NO.	DATE	BY	CHKD.	REVISIONS
1	01/10/02	JK	JK	ISSUED FOR PERMITTING
2	02/15/02	JK	JK	REVISED TO ADD LOT 100
3	03/20/02	JK	JK	REVISED TO ADD LOT 101
4	04/25/02	JK	JK	REVISED TO ADD LOT 102
5	05/30/02	JK	JK	REVISED TO ADD LOT 103
6	06/05/02	JK	JK	REVISED TO ADD LOT 104
7	07/10/02	JK	JK	REVISED TO ADD LOT 105
8	08/15/02	JK	JK	REVISED TO ADD LOT 106
9	09/20/02	JK	JK	REVISED TO ADD LOT 107
10	10/25/02	JK	JK	REVISED TO ADD LOT 108
11	11/30/02	JK	JK	REVISED TO ADD LOT 109
12	12/05/02	JK	JK	REVISED TO ADD LOT 110

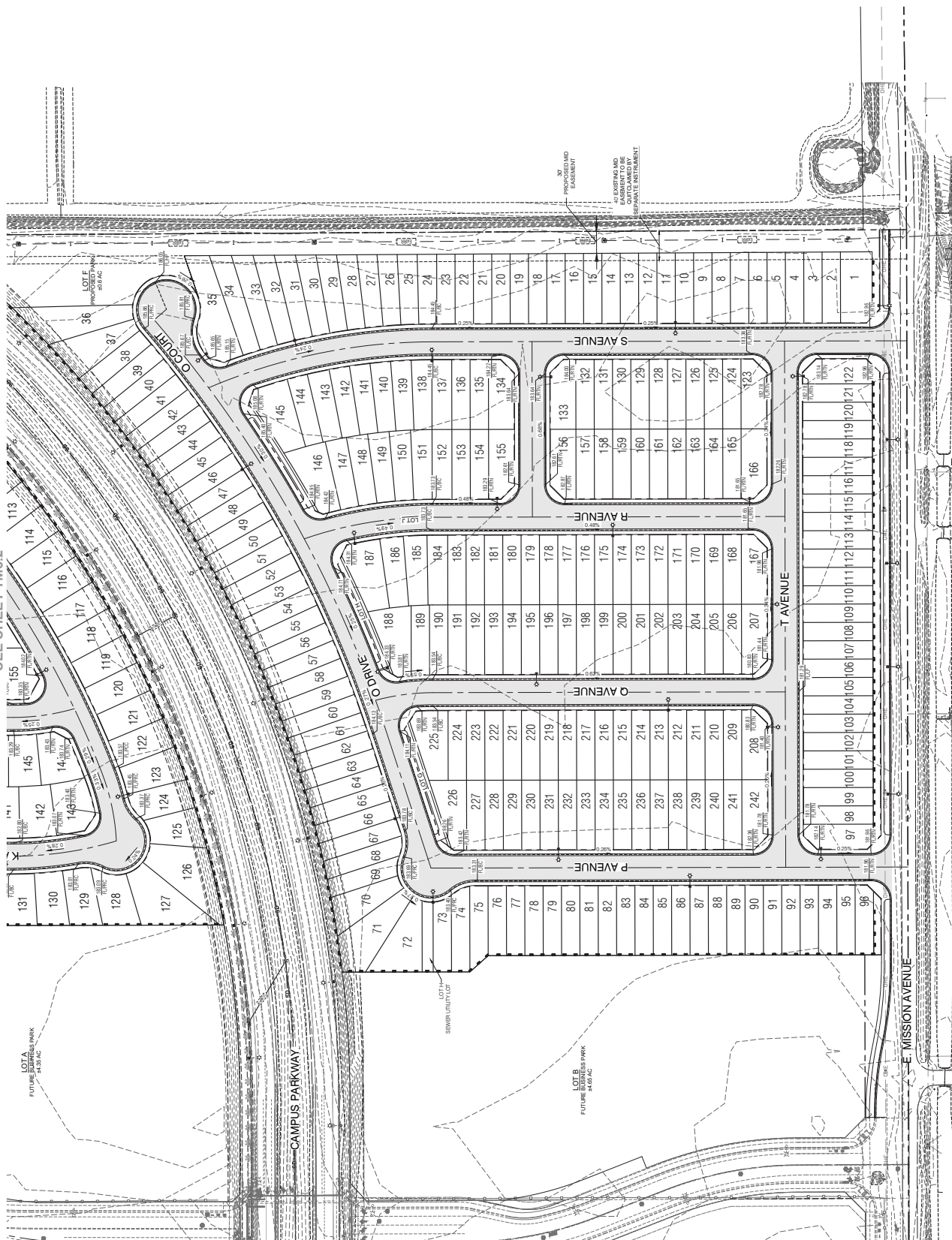


KEY MAP
NOT TO SCALE



SEE SHEET TM3.2





TM4.1



Spurge Engineering Group, Inc.
1000 17th Street, Suite 200
San Jose, CA 95126
(408) 524-3025 Phone
(408) 524-3026 Fax
www.spurgeeng.com

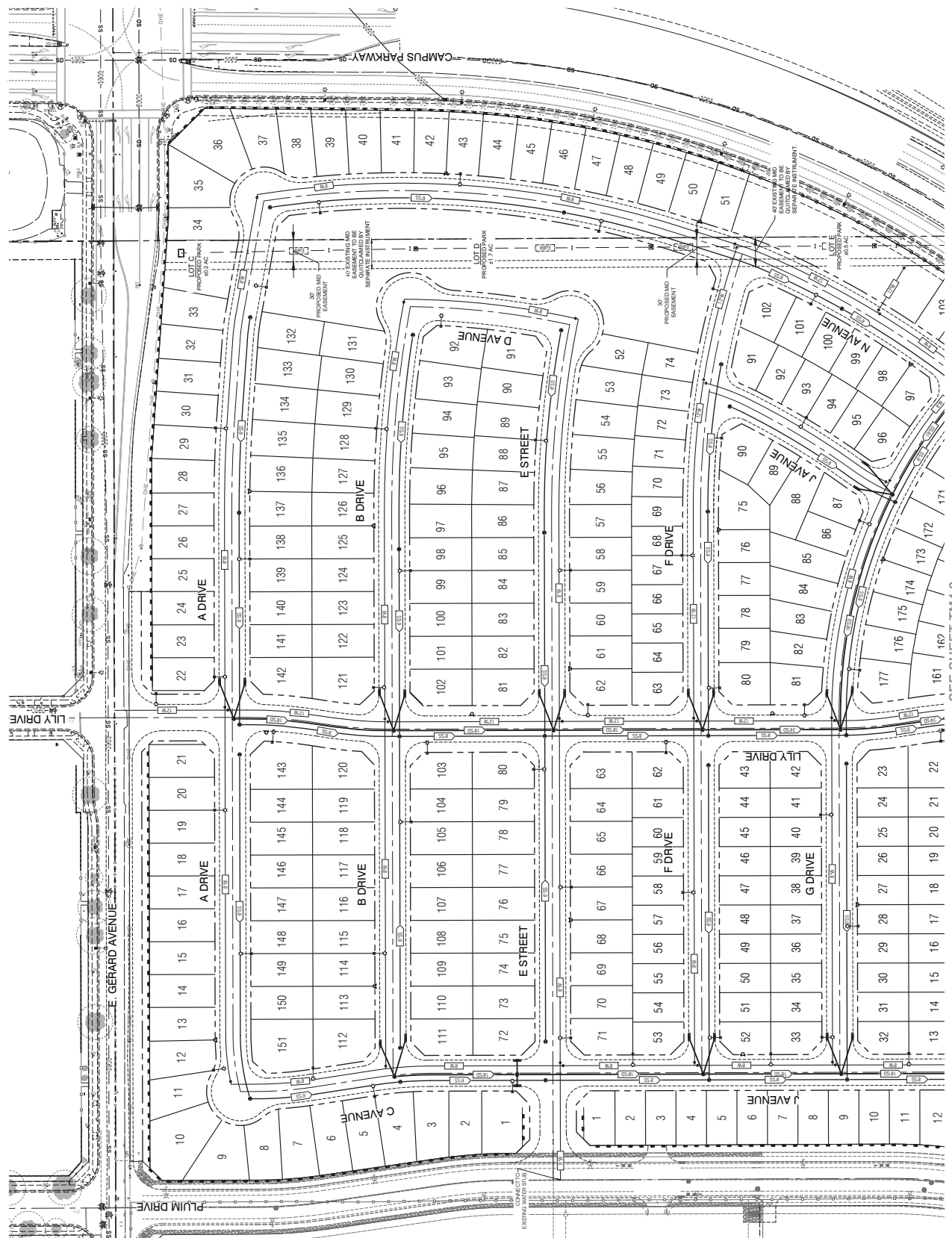
UTILITY PLAN
MERCED GATEWAY

CALIFORNIA

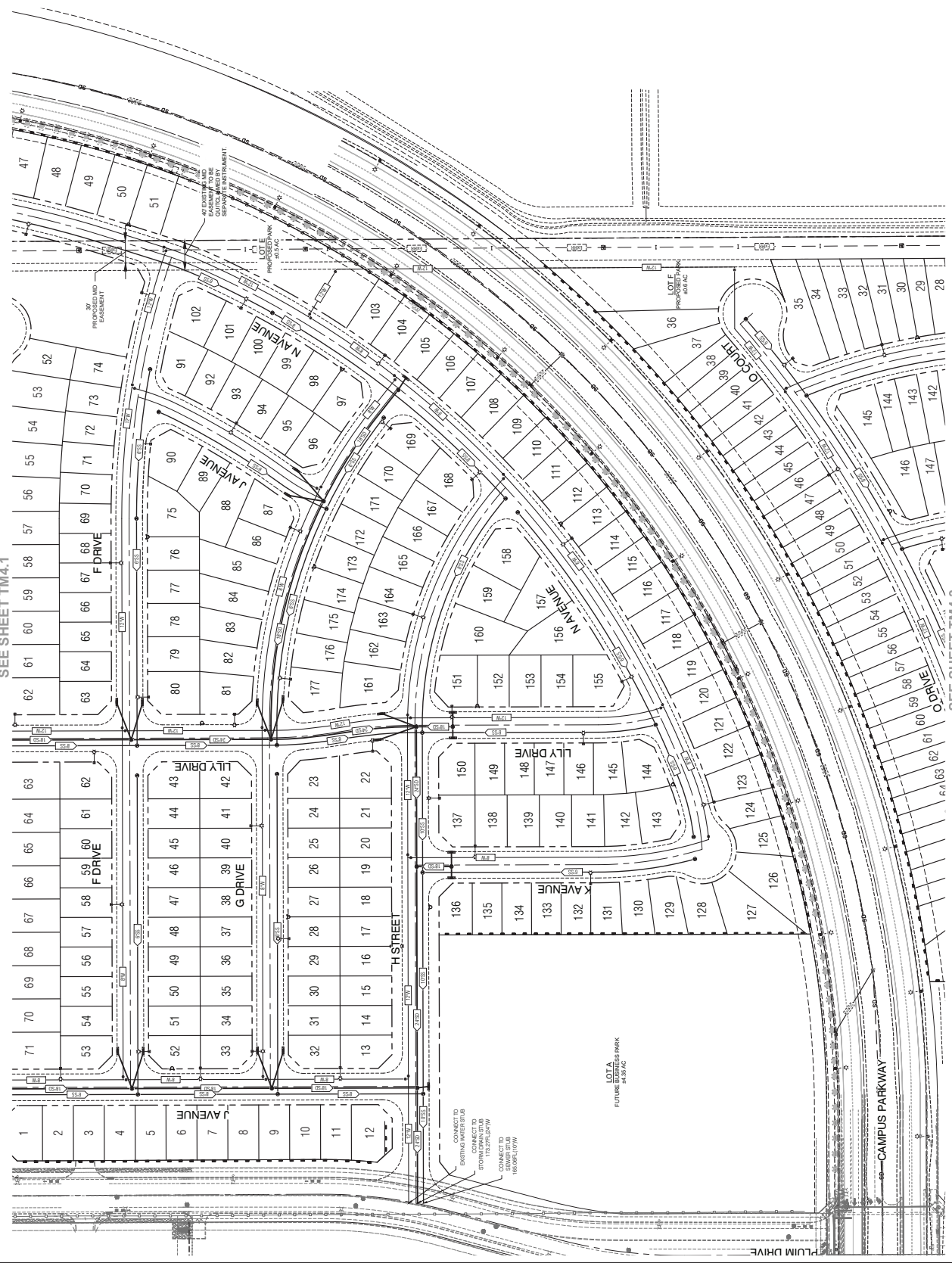
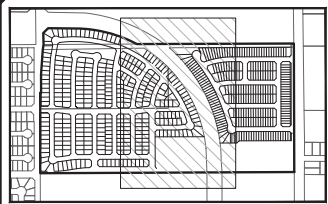
NO.	DESCRIPTION	DATE	APPROVED



KEY MAP
NOT TO SCALE



SEE SHEET TM4.2



Elevations and Plot Plans

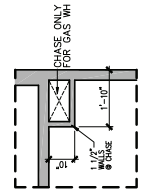
15' WELLTON COLLECTION



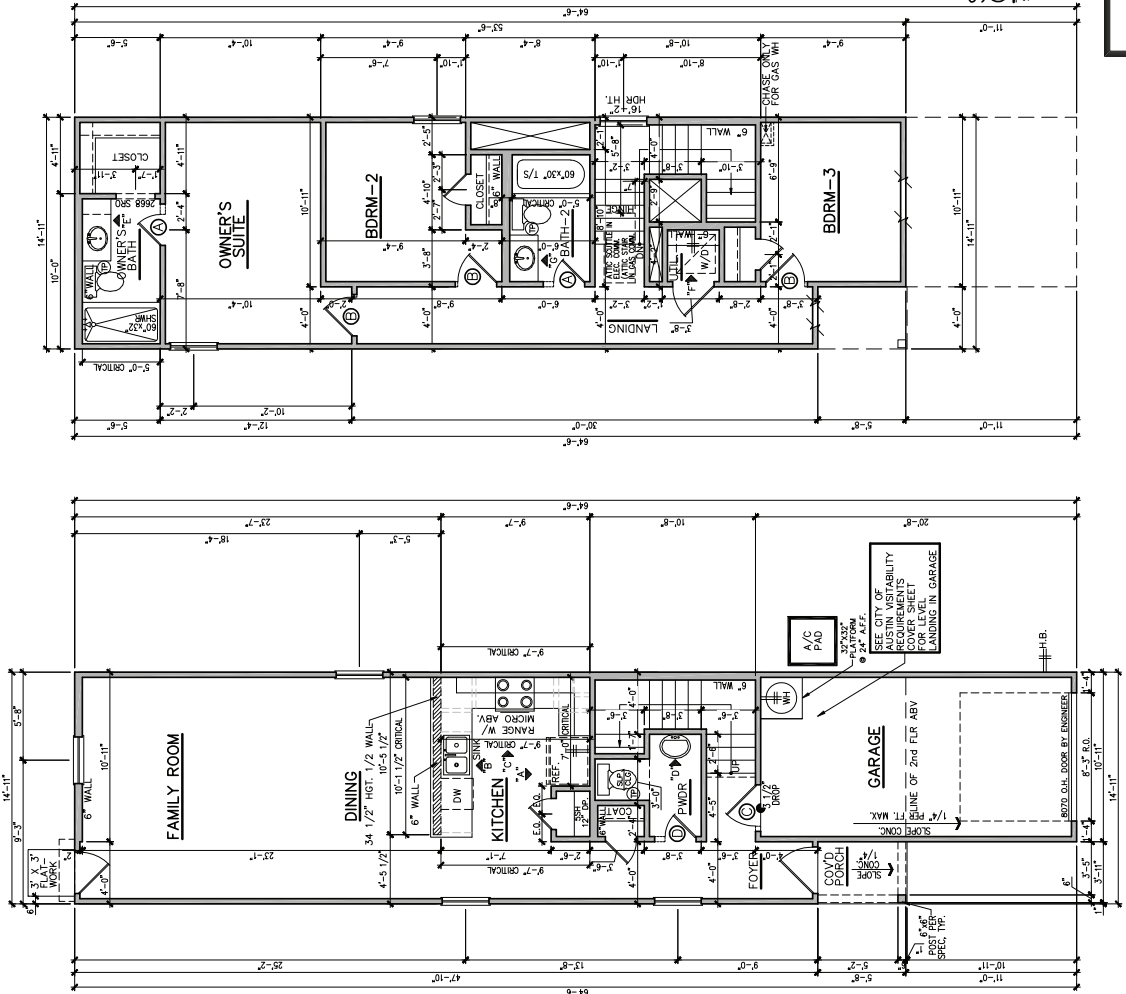
1500 WALLACE AVE. #215, 407 HOUSTON, TX 77062 PHONE 281-537-8800	ISSUE DATE 11-30-22	DRAFTSMAN KAC	AUSSA PLAN NUMBER 1521R	FLOOR PLANS INTER. ELEV	SHEET 1-1
--	------------------------	------------------	----------------------------	----------------------------	-----------

REVISIONS	DATE	BY	DESCRIPTION
1	02-27-23	WAC	WAC
2	02-27-23	WAC	WAC
3	04-27-23	WAC	WAC

- SUPPLIED TO:
- 1.) FRAMER
 - 2.) CONCRETE LABOR
 - 3.) CORNICE LABOR
 - 4.) SHEETROCKER
 - 5.) STAIR LABOR
 - 6.) TRIM LABOR
 - 7.) CARPET LABOR
 - 8.) C-TILE LABOR
 - 9.) CABINET LABOR
 - 10.) PLUMBER



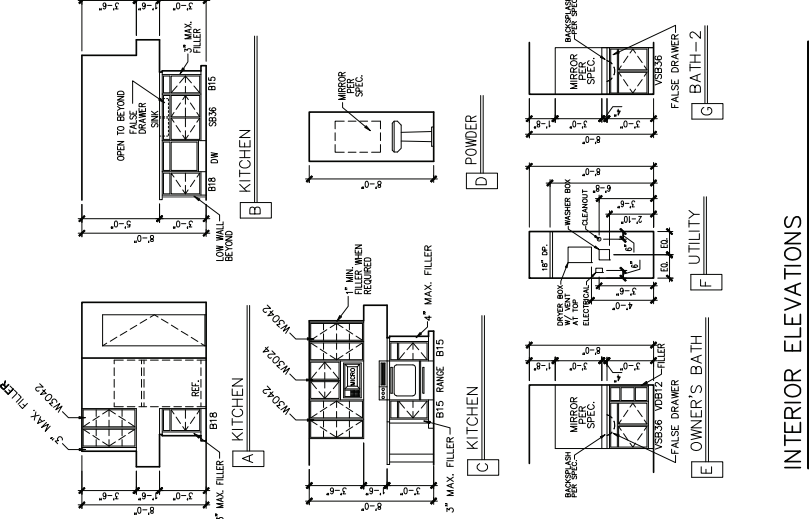
SECOND FLOOR CHASE DETAIL @ GAS WH
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

SQUARE FOOTAGES		
	FRAME	W/ MAS.
First Floor Living Area	675	675
Second Floor Living Area	685	685
Total Living Area	1360	1360
Garage	221	221
Porch	23	23
Patio	0	0
Total Under Roof	1604	1604



NOTES:
SEE GENERAL NOTES SHEET FOR ALL
DOOR/WINDOW SCHEDULES AND HEADER SIZES.
PROVIDE TEMPERED GLASS WHERE REQUIRED BY
CODE.

NO INFORMATION IS TO BE RELEASED TO THE PUBLIC OR TO ANY OTHER AGENCY OR INDIVIDUAL WITHOUT THE WRITTEN AUTHORIZATION OF THE DIRECTOR, FBI. THIS INFORMATION IS TO BE KEPT IN THE FILES OF THE BUREAU AND FIELD OFFICES AND IS TO BE USED ONLY FOR THE PURPOSES OF THE BUREAU AND FIELD OFFICES. IT IS TO BE DESTROYED WHEN NO LONGER NEEDED FOR THE PURPOSES OF THE BUREAU AND FIELD OFFICES. IT IS TO BE KEPT IN THE FILES OF THE BUREAU AND FIELD OFFICES AND IS TO BE USED ONLY FOR THE PURPOSES OF THE BUREAU AND FIELD OFFICES. IT IS TO BE DESTROYED WHEN NO LONGER NEEDED FOR THE PURPOSES OF THE BUREAU AND FIELD OFFICES.

- SUPPLIED TO:
- | | |
|-------------------|-------------------|
| 1.) FRAMER | 4.) SHINGLE LABOR |
| 2.) CORNICE LABOR | 5.) BRICK LABOR |
| 3.) DECKER | 6.) ELECTRICIAN |

SUPPLIED TO:

CORNICE NOTE:
FRONT ENTRY
FURRED-OUT
IN BRICK TO I

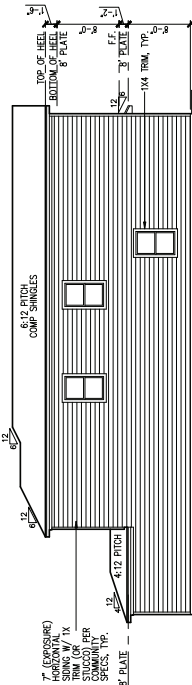
SIDING NOTE:
SEE ELEV.

ELECTRICAL NOTE:
EXTERIOR COLUMN & PORCH LIGHTS TO BE
MOUNTED PER ELEV.

NOTES:
SEE GENERAL NOTES SHEET FOR ALL
DOOR/ WINDOW SCHEDULES/ ELECTRICAL
NOTES AND HEADER SIZES.

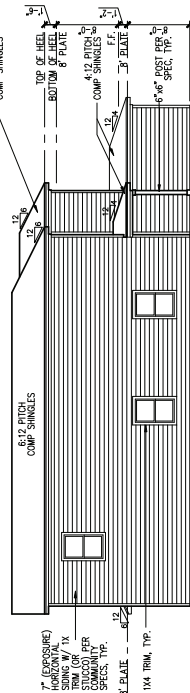
MASONRY CALCULATION - A			
BRICK/STONE:	0	SQ. FT.	
STUCCO:	0	SQ. FT.	
TOTAL MASONRY:	0	SQ. FT.	
SIDING:	2428	SQ. FT.	
TOTAL:	2443	SQ. FT.	
% OF MASONRY:	0	%	

RIGHT SIDE ELEVATION



SCALE: 1/16" = 1'-0"

LEFT SIDE ELEVATION

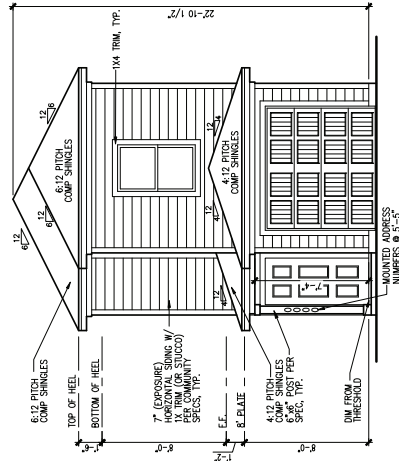


SCALE: 1/16" = 1'-0"

AL.F. 10 10²

FRONT ELEVATION - A

SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

15, WELLTON
COLLECTION

DESCRIPTION:



BUILDER:



800 VALLEY VIEW LANE SUITE 410
FARMERS BRANCH TEXAS 75234
PHONE: 214-537-6910

ISSUE DATE

ISSUE DATE
11-30-22

DRAFTSMAN

KAC

A PLAN NUMBER

15210

VIA TION

"Δ"

SHEET 30-1

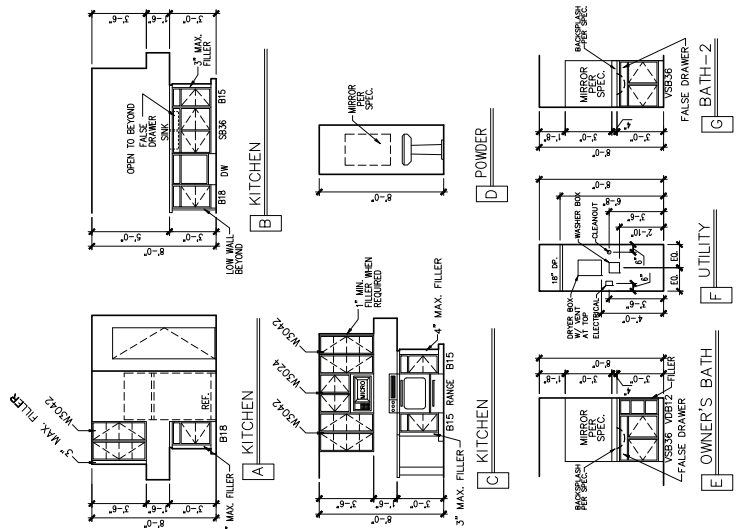
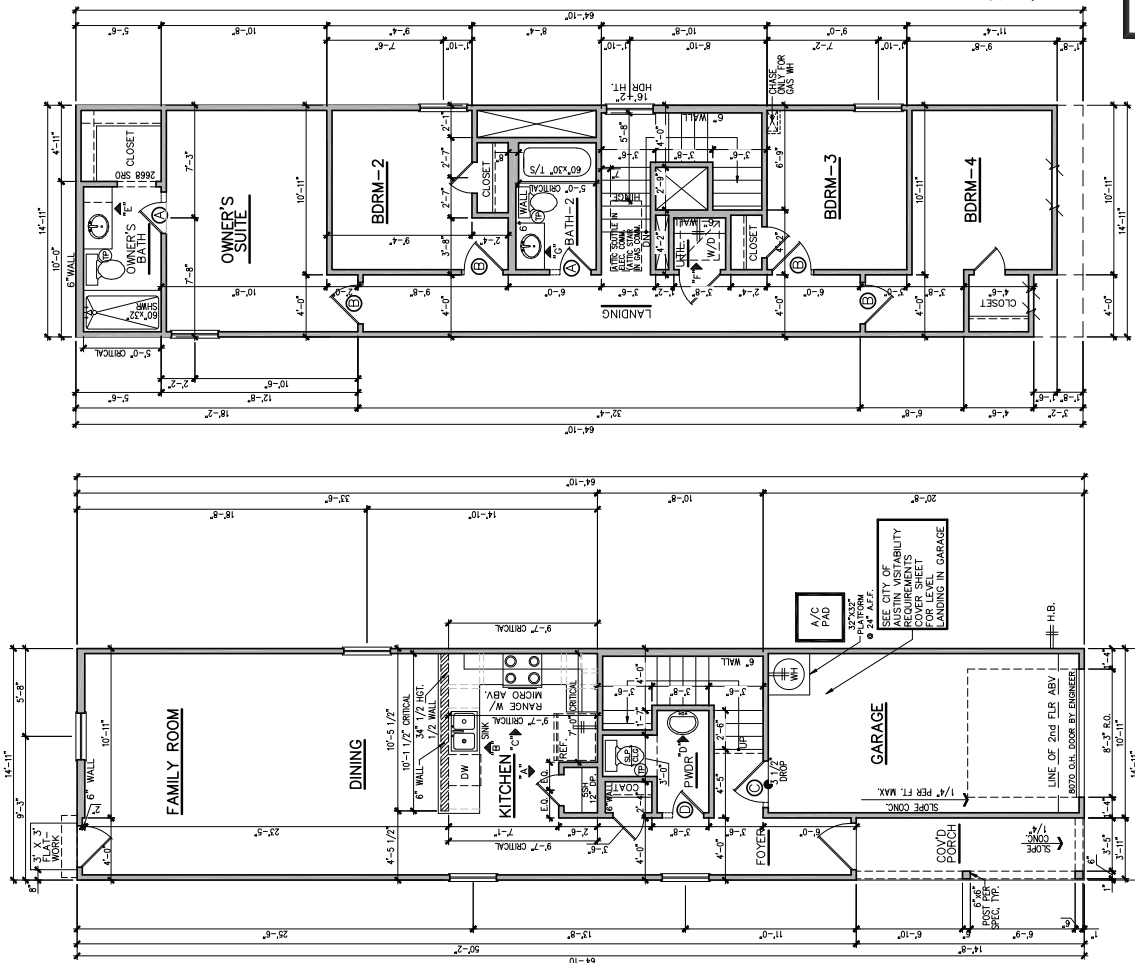
SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SQUARE FOOTAGES		FRAME	W/ MAS.
First Floor Living Area		688	688
Second Floor Living Area		842	842
Total Living Area		1530	1530
Garage		221	221
Porch		59	59
Patio		0	0
Total Under Roof		1810	1810



SCALE: 1/8" = 1'-0"

NOTES:
SEE GENERAL NOTES SHEET FOR ALL
DOOR/WINDOW SCHEDULES AND HEADER SIZES.
PROVIDE TEMPERED GLASS WHERE REQUIRED BY
CODE.

REVISIONS		
1	WAC-001-001 (02-07-23)	
2	WAC-001-002 (02-07-23)	
3	WAC-001-003 (04-27-23)	
4		
5		
6		
7		
8		
9		
10		

15' WELLTON COLLECTION

15' WELLTON COLLECTION



BUILDER: MIDTOWN
1500 WALTON AVENUE, SUITE 400
HOUSTON, TEXAS 77056-4000
PHONE: 281-537-8900

ISSUE DATE: 11-30-2022
DRAFTSMAN: KAC
AUSCA PLAN NUMBER: 1531R
ELEVATION: "A"
SHEET 30-1

- SUPPLIED TO:
- 1.) FRAMER
 - 2.) CORNICE LABOR
 - 3.) DECKER
 - 4.) SHINGLE LABOR
 - 5.) BRICK LABOR
 - 6.) ELECTRICIAN

CORNICE NOTE:
FRONT ENTRY WINDOWS IN BRICK TO BE
FURRED-OUT W/ 1X2'S - ALL OTHER WINDOWS
IN BRICK TO BE FURRED-OUT W/ 1X2'S

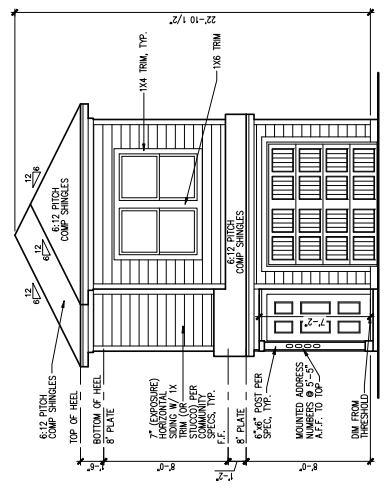
SIDING NOTE:
SEE ELEV. FOR SIDING DESCRIPTION

ELECTRICAL NOTE:
EXTERIOR COLUMN & PORCH LIGHTS TO BE
MOUNTED PER ELEV.

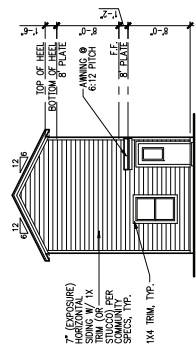
NOTES:
SEE GENERAL NOTES SHEET FOR ALL
DOOR/ WINDOW SCHEDULES/ ELECTRICAL
NOTES AND HEADER SIZES.

MASONRY CALCULATION-A

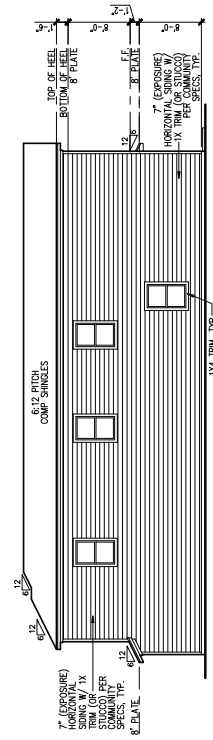
BRICK/STONE:	0 SQ. FT.	%
STUCCO:	0 SQ. FT.	%
SIDING:	2615 SQ. FT.	%
TOTAL:	2615 SQ. FT.	%
% OF MASONRY:	0 %	%



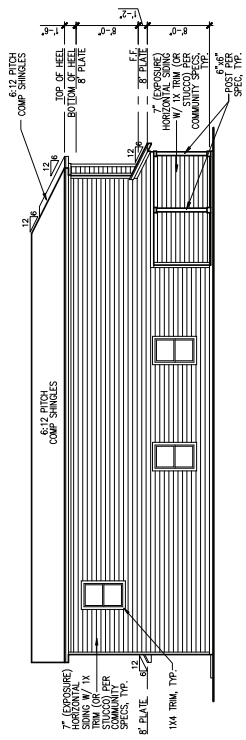
FRONT ELEVATION - A
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/16" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/16" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/16" = 1'-0"

REVISIONS	
MA-XAC-PDS 5017	02-07-23
MA-XAC-PDS 5018	02-07-23
MA-XAC-PDS 5074	04-27-23

SUPPLIED TO:

1.) FRAMER	4.) SHINGLE LABOR
2.) CORNICE LABOR	5.) BRICK LABOR
3.) DECKER	6.) ELECTRICIAN

SUPPLIED TO:

CORNICE NOTE:

FRONT ENTRY WINDOWS IN BRICK TO BE
FURRED-OUT W/ 1X2'S - ALL OTHER WINDOWS
IN BRICK TO BE FURRED-OUT W/ 1X2'S

SIDING NOTE:

SEE ELEV. FOR SIDING DESCRIPTION

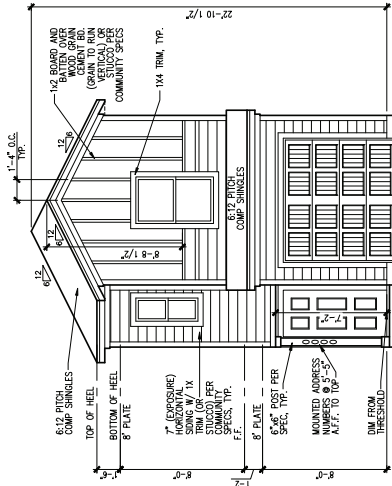
ELECTRICAL NOTE:

EXTERIOR COLUMN & PORCH LIGHTS TO BE MOUNTED PER ELEV.

NOTES:

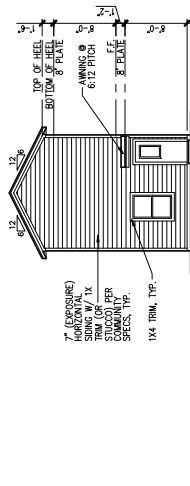
SEE GENERAL NOTES SHEET FOR ALL
DOOR/ WINDOW SCHEDULES/ ELECTRICAL
NOTES AND HEADER SIZES.

MASONRY CALCULATION-D			
BRICK/STONE:	0	SQ. FT.	
STUCCO:	0	SQ. FT.	
TOTAL MASONRY:	0	SQ. FT.	
SIDING:	2660	SQ. FT.	
TOTAL:	2660	SQ. FT.	
% OF MASONRY:	0	%	



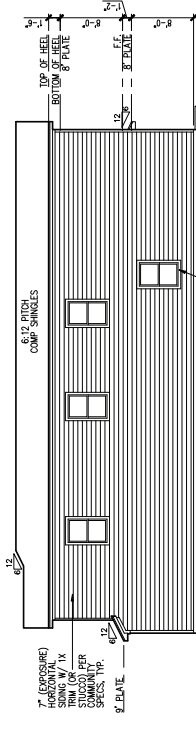
FRONT ELEVATION - D

SCALE: 1/8" = 1'-0"



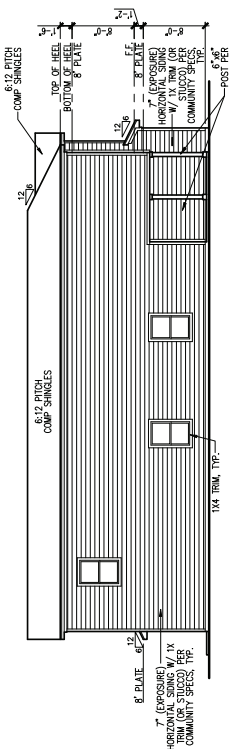
REAR ELEVATION

SCALE: 1/16" = 1'-0"



RIGHT SIDE ELEVATION

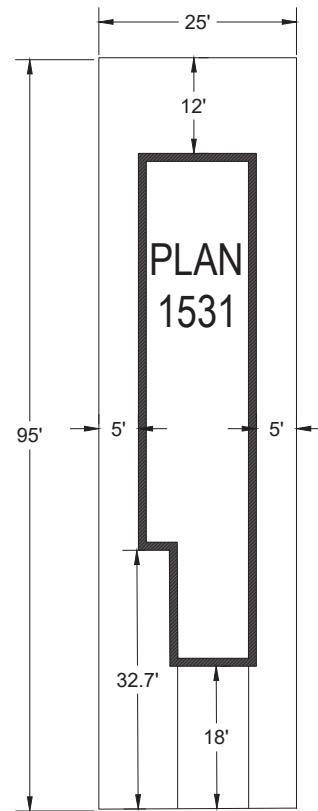
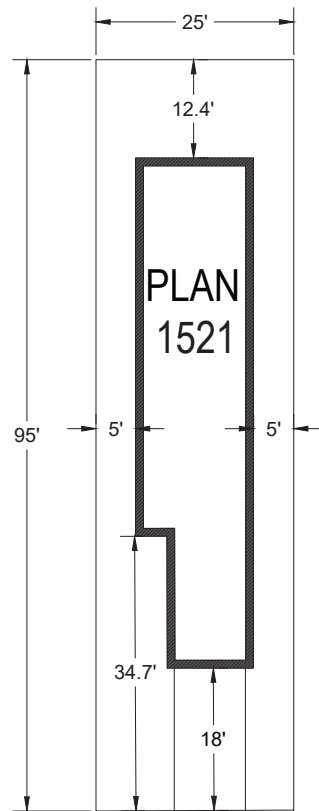
SCALE: 1/16" = 1'-0"



LEFT SIDE EVALUATION

SCALE: 1/16" = 1' 0"

MERCED GATEWAY - WELTON-15 25'X95'





1,341 Square Feet

LENNAR®

TREASURES SERIES

A.



B.



1,341 Square feet

LENNAR®

TREASURES SERIES

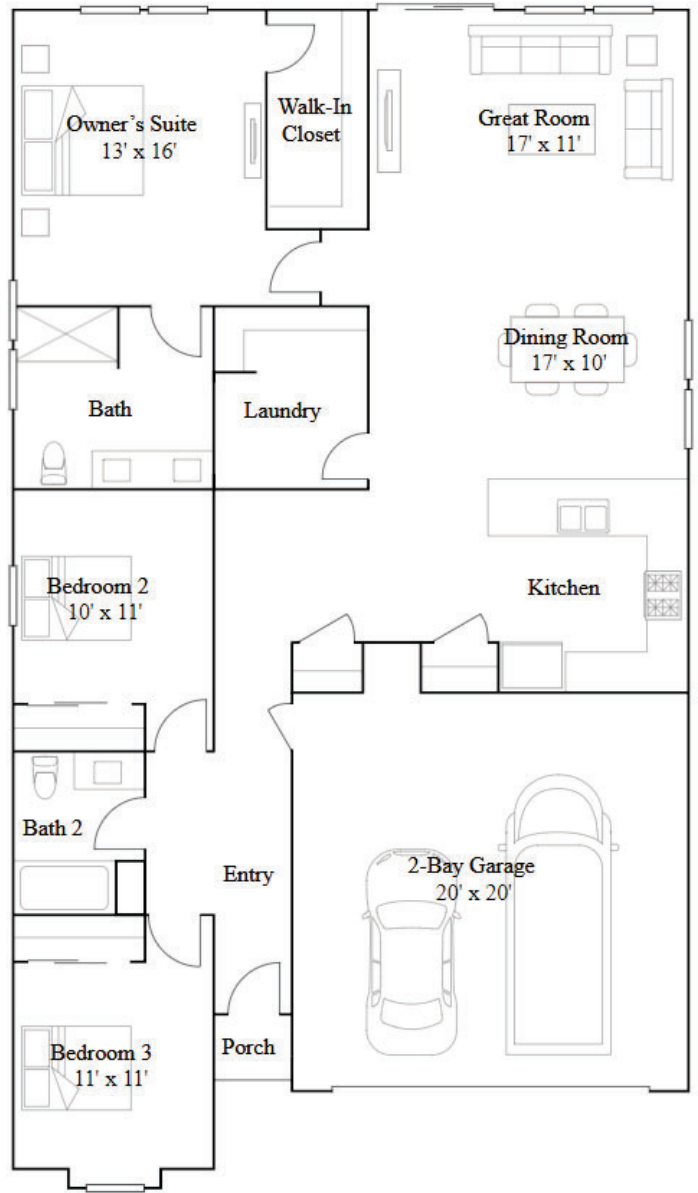
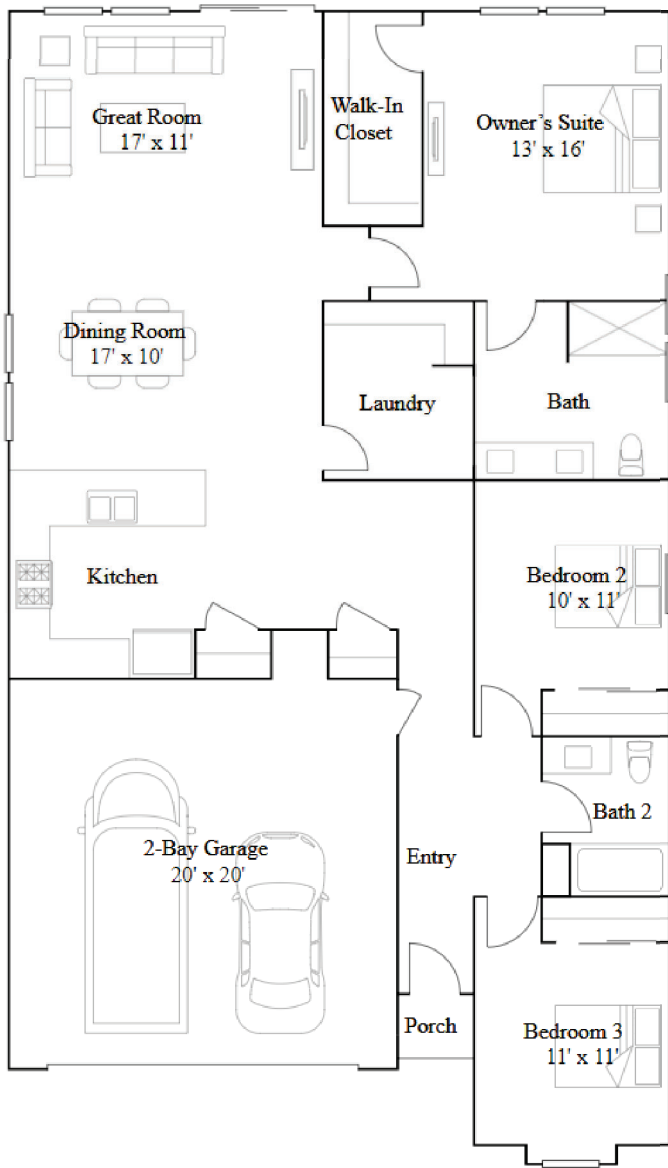
C.



1,341 Square feet

LENNAR®

TREASURES SERIES



1,569 Square Feet

LENNAR®

TREASURES SERIES

A.



B.



1,569 Square feet

LENNAR®

TREASURES SERIES

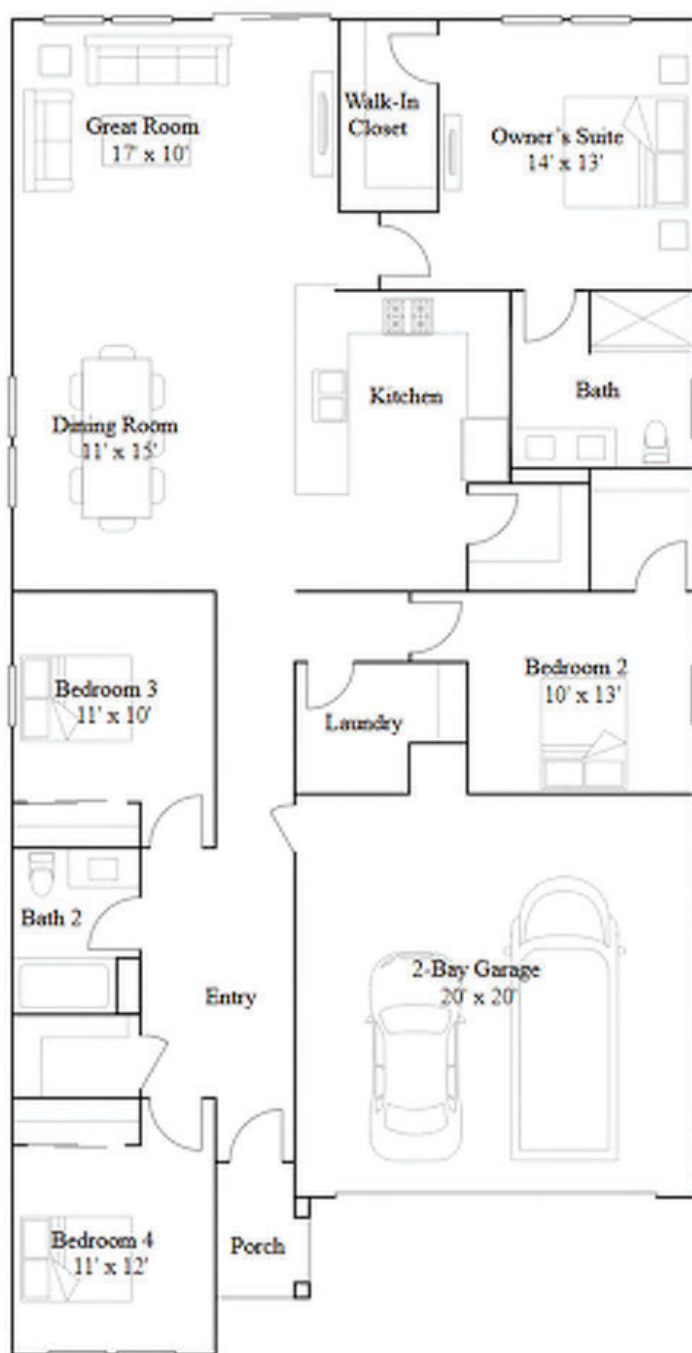
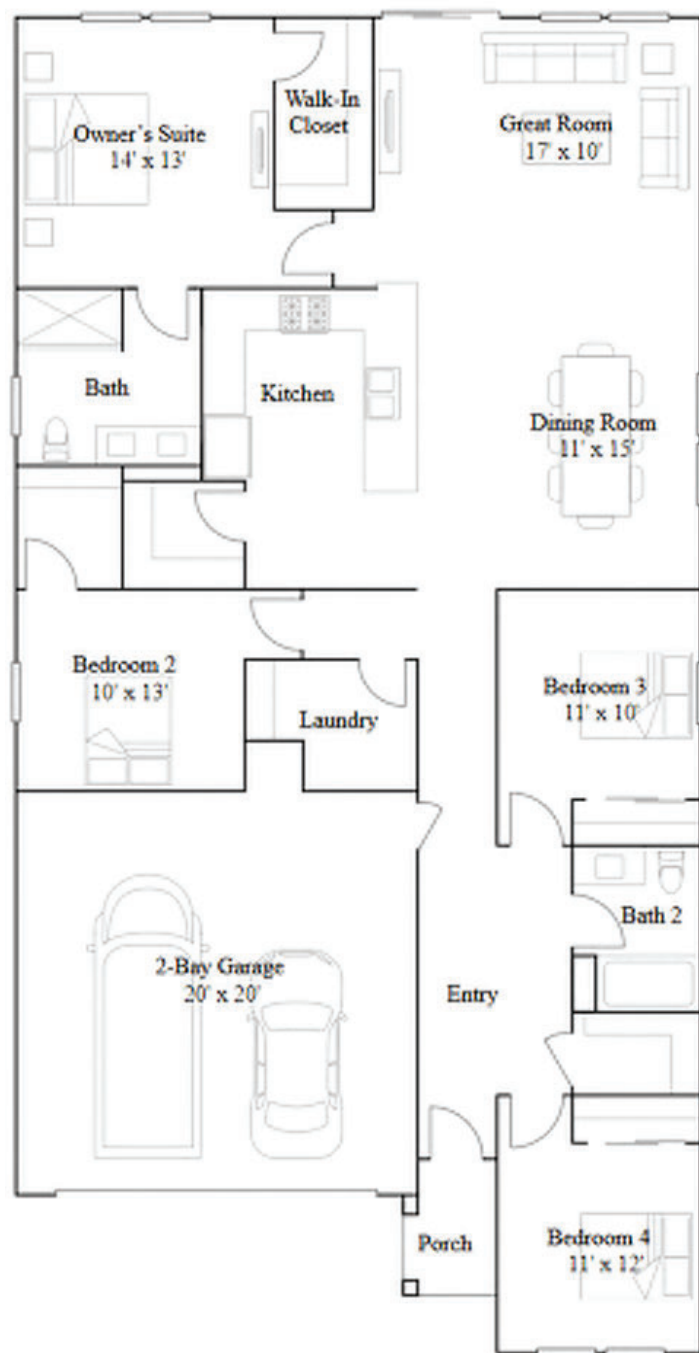
C.



1,569 Square feet

LENNAR®

TREASURES SERIES



1,755 Square Feet

LENNAR®

TREASURES SERIES

A.



B.



1,755 Square feet

LENNAR®

TREASURES SERIES

C.

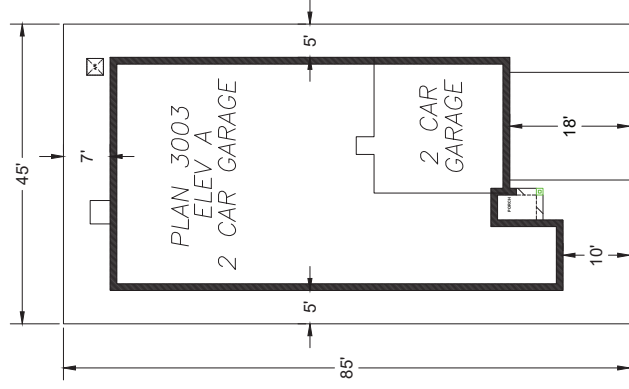
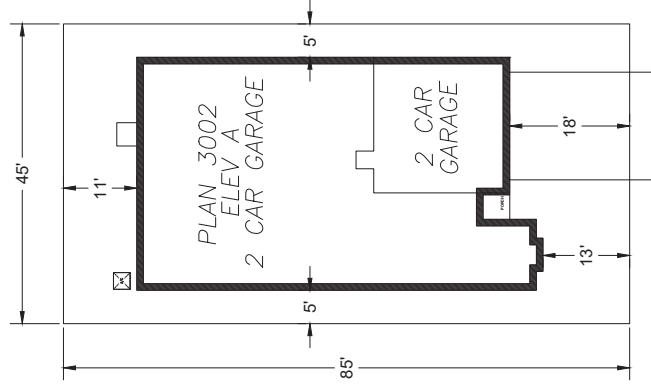
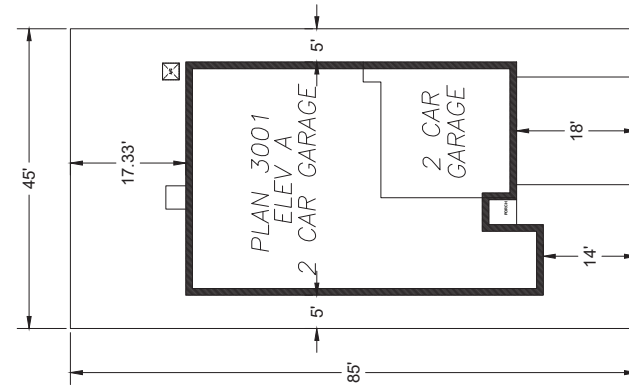


1,755 Square feet

LENNAR®

TREASURES SERIES

MERCED GATEWAY - TREASURES 45'x85'



Alfa Series

Alfa Series

Charlie

Elevation A



Elevation B



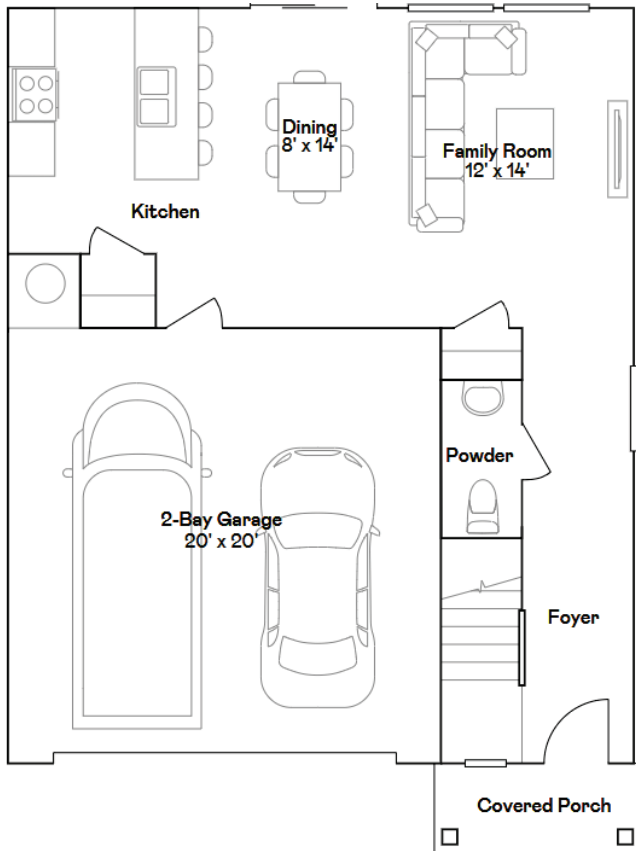
Elevation C



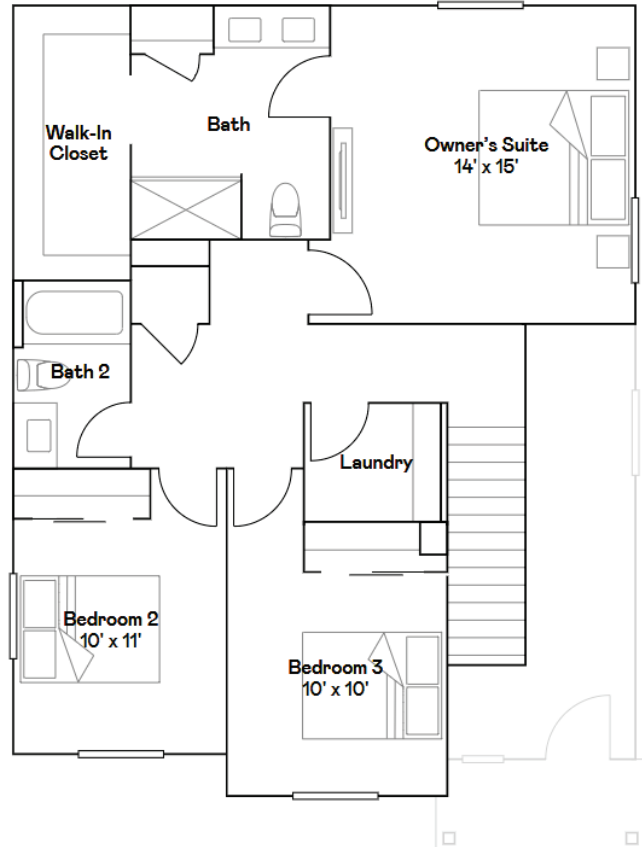
Alfa Series

Charlie

First Floor



Second Floor



Alfa Series

Delta

Elevation A



Elevation B



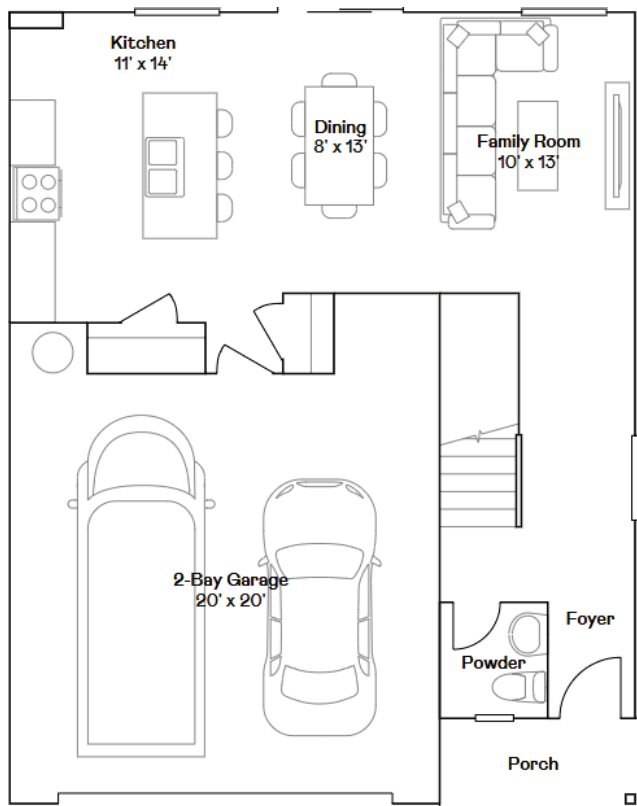
Elevation C



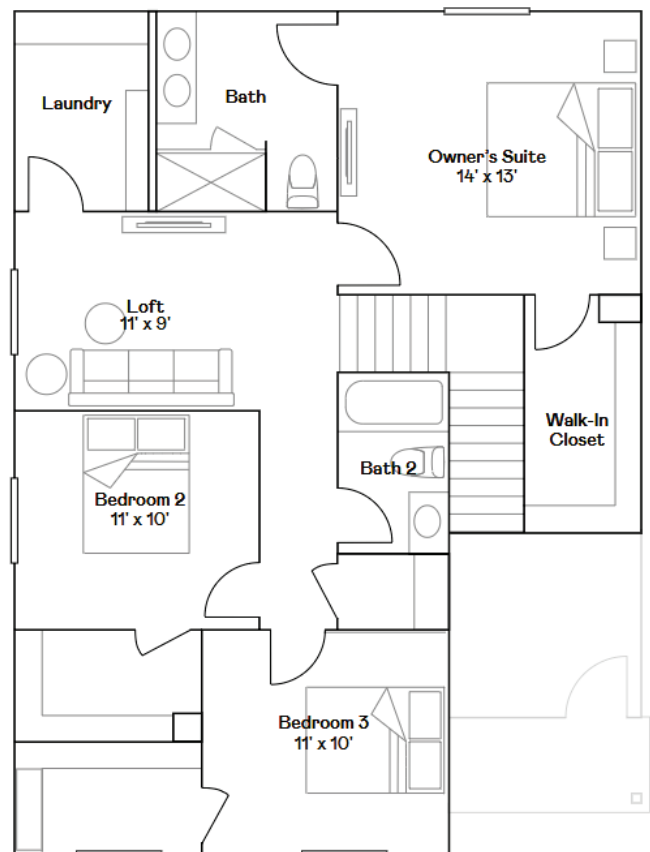
Alfa Series

Delta

First Floor



Second Floor



Alfa Series

Echo

Elevation A



Elevation B



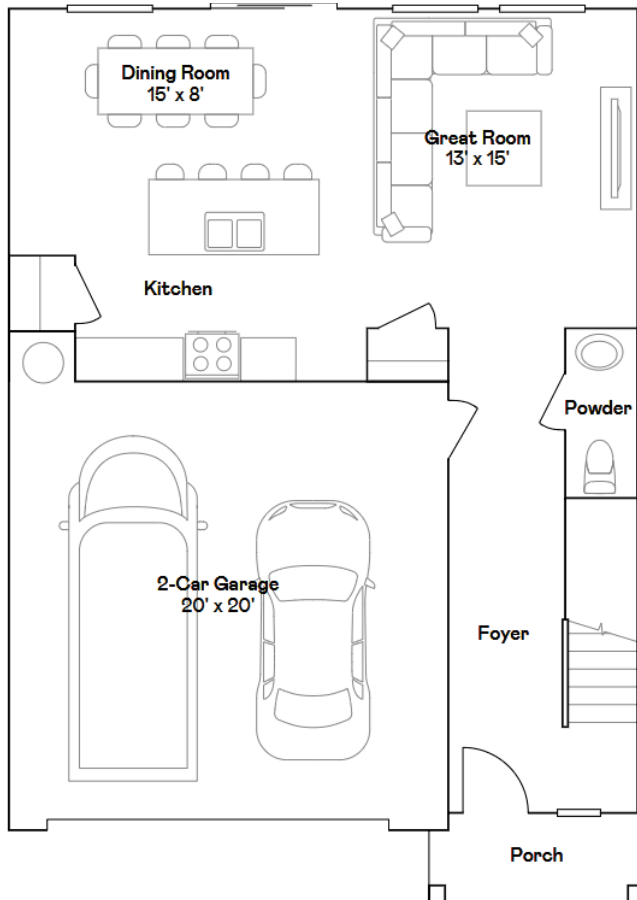
Elevation C



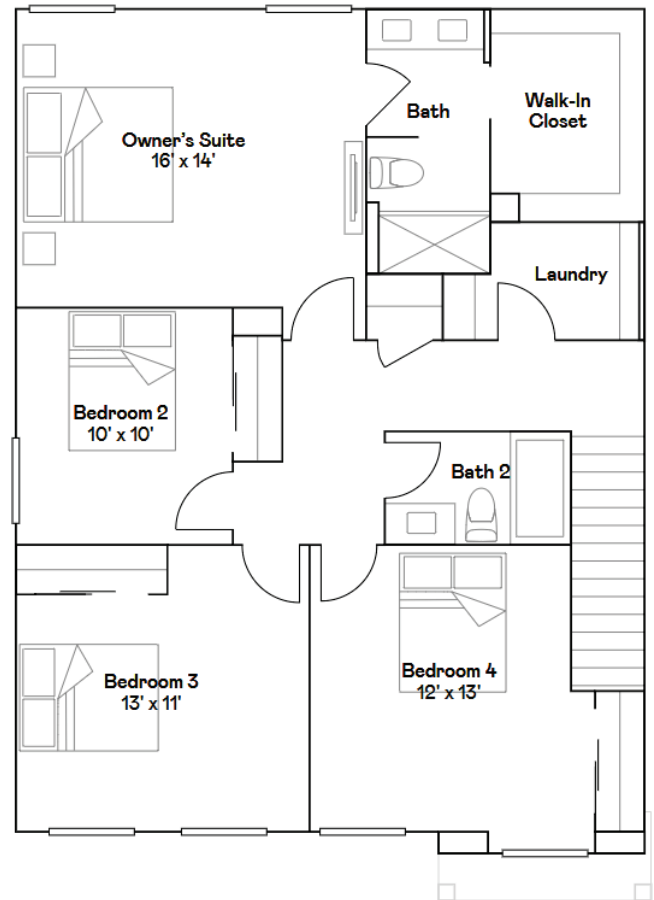
Alfa Series

Echo

First Floor



Second Floor



Alfa Series

Foxtrot

Elevation A



Elevation B



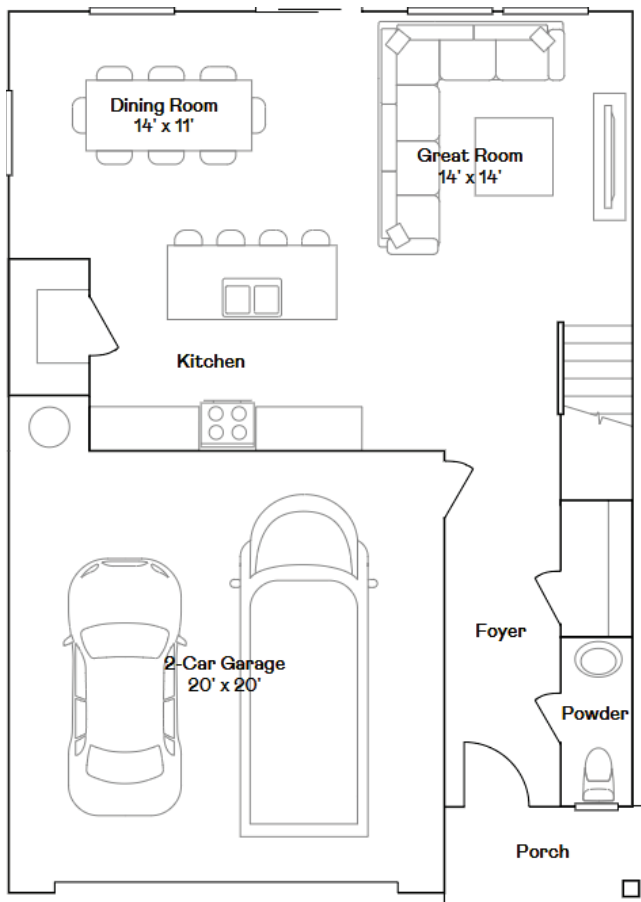
Elevation C



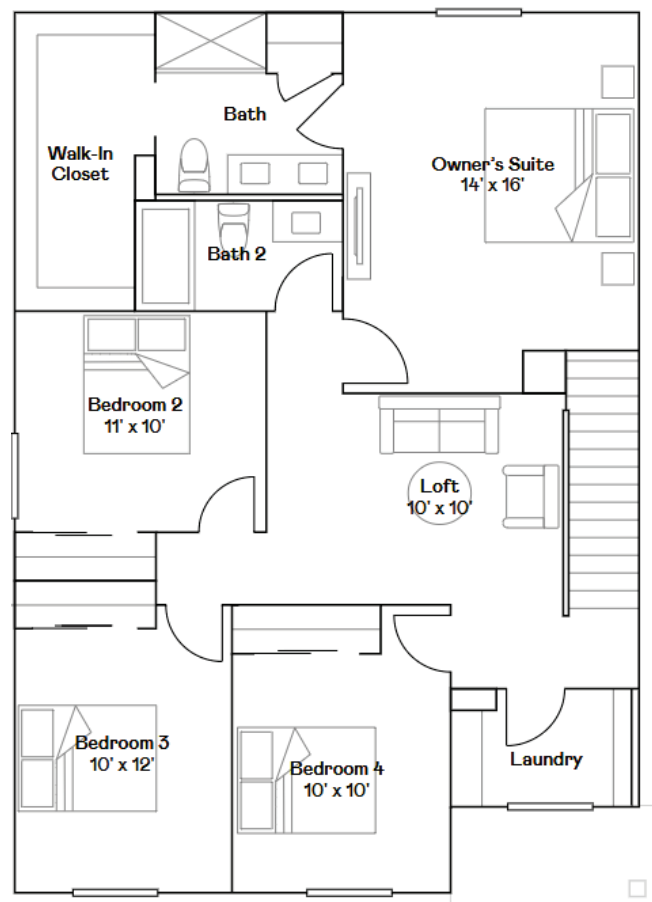
Alfa Series

Foxtrot

First Floor



Second Floor

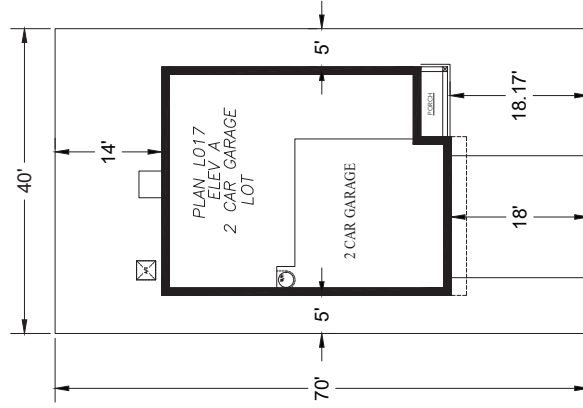
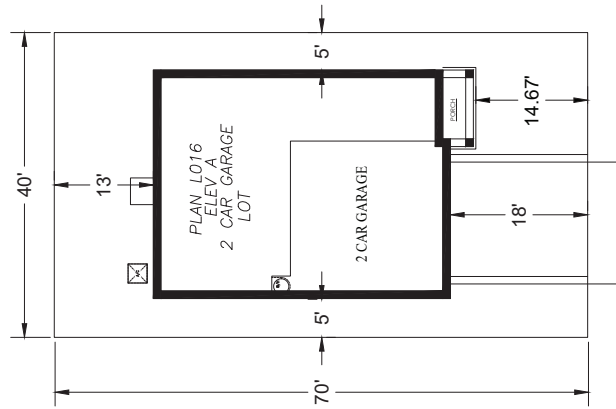
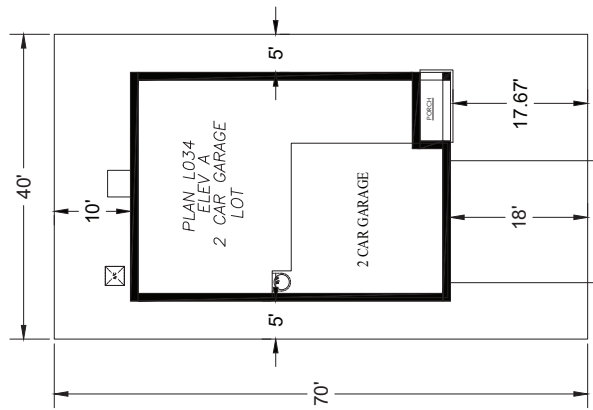


Alfa Series

Plan Mix

ALFA SERIES (Core 30')						
Plan	Name	Square Footage	Beds	Baths	Garage	Floors
L015	Charlie	1,576	3	2.5	2	2
L017	Delta	1,677	3	2.5	2	2
L016	Echo	1,847	4	2.5	2	2
L034	Foxtrot	1,969	4	2.5	2	2

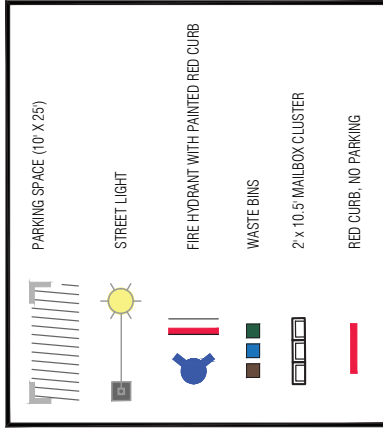
MERCED GATEWAY - ALFA 40'X70'



MERCED GATEWAY WELTON PRODUCT (25' x 95') OVERALL PARKING EXHIBIT

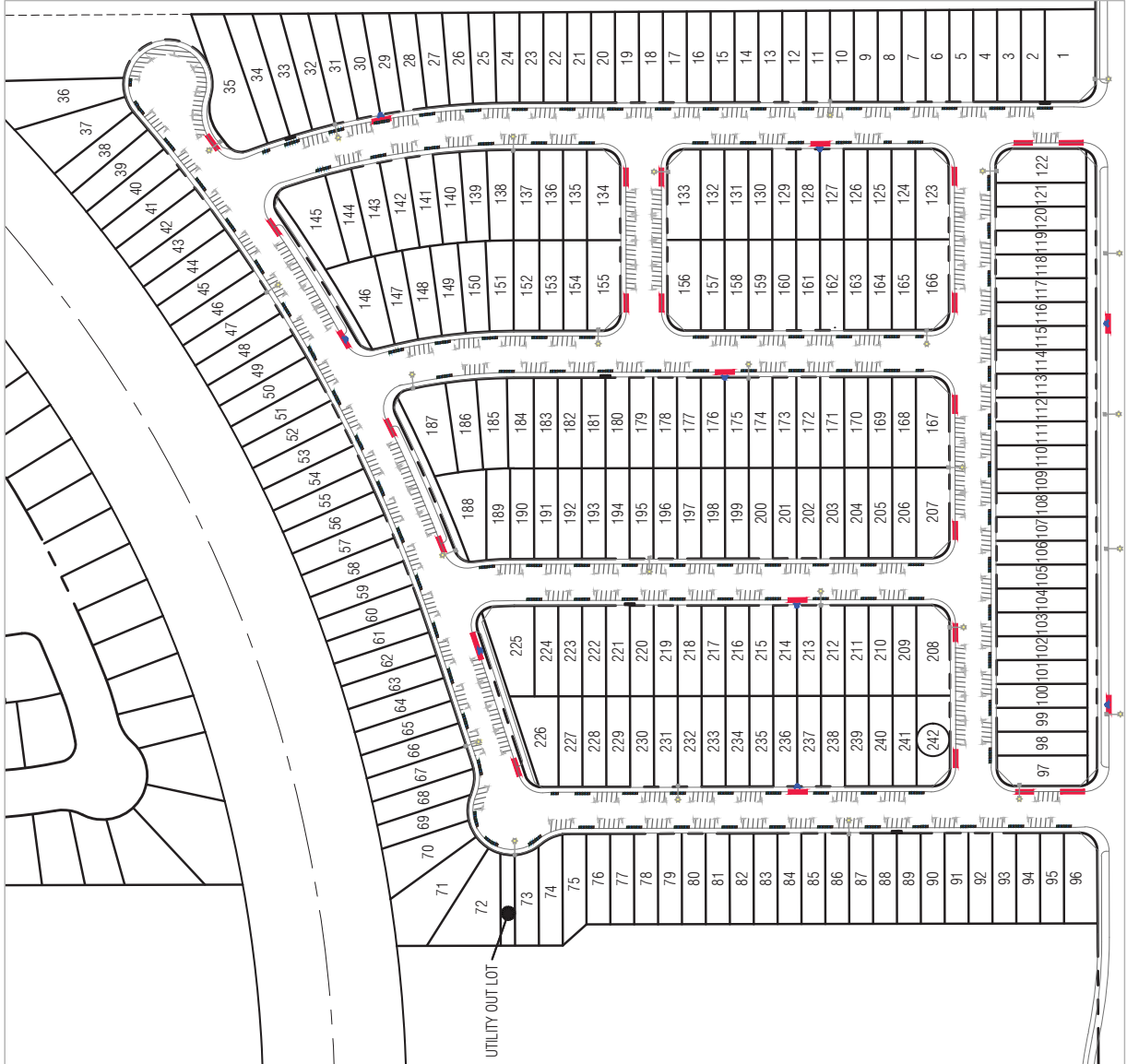
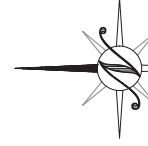
APRIL 03, 2025

LEGEND



NOTES

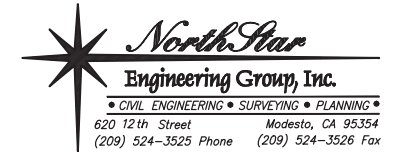
- ONE GARAGE AND DRIVEWAY PARKING SPACE PROVIDED PER LOT FOR A TOTAL OF 484 SPACES.
- ONE ON-STREET PARKING SPACE PER APPROXIMATELY EVERY OTHER LOT, PLUS SIDE STREET PARKING FOR A TOTAL OF APPROXIMATELY 143 SPACES.



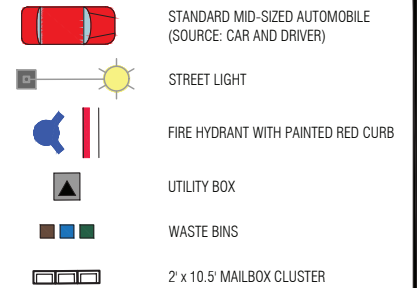
ATTACHMENT H

MERCED GATEWAY WELTON PRODUCT (25' x 95') ILLUSTRATIVE PARKING EXHIBIT

APRIL 03, 2025

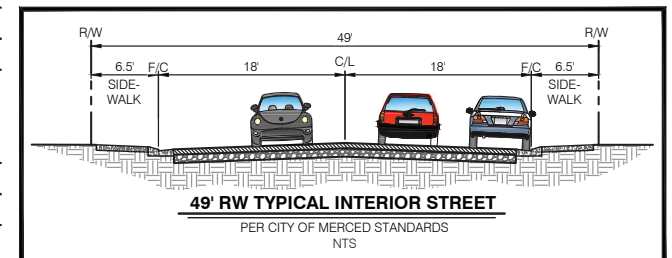


LEGEND



NOTES

1. ALL LOTS ARE TYPICALLY 25' WIDE BY 95' DEEP.
2. GARAGES ARE SETBACK 20' FROM FRONT PROPERTY LINE.
3. ONE COVERED (GARAGE), AND ONE UNCOVERED PARKING SPACE (DRIVEWAY) PROVIDED PER LOT.
4. ONE ON-STREET PARKING SPACE PROVIDED IN BETWEEN EVERY OTHER LOT.
5. FIRE HYDRANTS TO BE PLACED ON THE PROPERTY LINES WHERE THE ON-STREET PARKING IS IMPRACTICAL. CURB TO BE PAINTED RED.



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**Merced Gateway
Residential Design Standards
Vesting Tentative Map #1333**

The design standards have been outlined to ensure design consistency within the community and should be followed for all site plan and design review.

Traditional Front-Loaded Lots

All lots are shown as Traditional Front-Loaded Lots and the following design standards shall apply to these lots.

1. Lot & Setback Standards

- a. Single & Two Story Single Family Detached Homes with a max height of 32'
- b. Each home will have at least a one-car garage, and one parking space for a standard sized vehicle in driveway. Must have 20 foot setback from front property line to garage door
- c. House Setbacks
 - Front Yard – 10'
 - Side Yard – 3'-6"
 - Rear Yard – 15'
- d. Side yards will have a 6' tall privacy fence between each home.

2. Architectural Standards

- a. Each plan shall have a minimum of three different architectural styles.
- b. Plans shall incorporate a mixture of exterior finishes including stucco, stone, brick, siding & tile.
- c. Each plan shall have three different color scheme options.
- d. Roofs will be either tile, composition and may incorporate metal roofs where required for architectural authenticity.
- e. Window trim and grids shall be standard on all front and rear of homes.
- f. Corner lots shall have enhanced elevations.

Presentation

POWER POINT PRESENTATION TO BE PRESENTED
AT PLANNING COMMISSION MEETING